

**AMENDED MINUTES
BOARD OF ZONING APPEALS
JUNE 18, 2020
LAKEWOOD CITY HALL**

**PRE-REVIEW MEETING
6:00 P.M.**

**REVIEW MEETING
6:30 P.M.
VIRTUAL MEETING**

Under the orders of the Governor and Director of Health of Ohio, the Board of Zoning Appeals will meet remotely until further notice.

The June 18, 2020 remote meeting information will be posted by 5:00 PM the day of the meeting at <http://www.onelakewood.com/accordions/zoning-appeals/>

1. Roll call

Members Present

Michael Alexander
Christopher Bindel, Chair
Jillian Bolino
Greg Mahoney
Megan Otter

Other

Michelle Nohta, Planner, Secretary
Joseph Meyers, Building Commissioner
Andrew Fleck, City Prosecutor
Allison Hennie, Urban Designer

2. Approve the minutes of the February 20, 2020 meeting

A motion was made by Mr. Bindel, seconded by Mr. Mahoney to approve the February 20, 2020 meeting minutes. Mr. Alexander, Mr. Bindel, Ms. Bolino, Mr. Mahoney voting yea, Ms. Otter abstaining, the motion passed.

3. Approve the minutes of the May 21, 2020 meeting

A motion was made by Mr. Bindel, seconded by Mr. Mahoney to approve the May 21, 2020 meeting minutes. Mr. Alexander, Mr. Bindel, Ms. Bolino, Mr. Mahoney voting yea, Ms. Otter abstaining, the motion passed.

4. Opening Remarks

Ms. Nohta read the Opening Remarks into record.

5. Election of Officers - deferred from May Meeting

Election of Officers was conducted during the pre-review meeting. Mr. Bindel was elected as 2020 Chair, and Ms. Otter was elected as 2020 Vice Chair.

OLD BUSINESS

**6. Docket No. 02-06-20
12558 Clifton Blvd.**

Applicant Edward Slusarski of Cadd Creations proposes the demolition and rebuild of the existing front porch. The proposal reduces the front yard building line setback by 5 ft. The property is in the R2, Single- and Two-Family Residential District. (Page 4)

- Variance Request: Minimum front yard building setback is 45 feet. Proposal places front porch at 40 feet. Request a variance to reduce minimum front yard setback by 5 ft. Pursuant to section 1123.07 (Ord. 91-95. Passed 10-7-1996.)

Administrative staff received communication the item was withdrawn at the request of the applicant. No action was required from the Board members ("Board").

**7. Docket No. 05-08-20
1121 Wilbert Dr.**

Applicant David Maddux, The Arcus Group Inc., proposes adding a full second and a third floor to the existing primary building as well as a two-story addition on the south side of the existing home. The addition would reduce the front yard setback from the required 50 feet on Lake Avenue to 46 feet. The property is in the R1M, Single family Residential District. (Page 8)

- Variance Request The required front yard setback on Lake Avenue is 50 feet. The proposal reduces the front yard on Lake Avenue to 46 feet. Request a variance of 4 feet to reduce the front yard setback to 46 feet. Pursuant to section 1121.07 (Ord. 91-95. Passed 10-7-1996.)

Administrative staff received communication the item was withdrawn at the request of the applicant. No action was required from the Board members ("Board").

NEW BUSINESS

**8. Docket No. 06-09-20
12311 Plover St.**

The City of Lakewood's Division of Community Development, applicant and property owner, proposes the construction of a new house and garage on a vacant lot. The vacant lot is 2,800 square feet. The 769 square foot primary structure as proposed would be built 4 feet from the public right of way and front property line, the foundation is also proposed at 20 feet 8 inches feet from the rear property line. The structure would cover 27.5% of the lot. On the west property line, the foundation wall would be 3 feet two inches from the property line, and the single car garage is proposed to be placed in the side yard on the east side of the lot. The two structures as proposed would require a total of 5 variances. Located in the R-2 Single- and Two-Family Residential District. (Page 10)

- Variance Request #1: The required front yard setback on Plover is 10 feet per the Building Line Map. The proposal reduces the front yard on Plover to 4 feet. Request a variance of 6 feet. Pursuant to section 1123.07 (Ord. 91-95. Passed 10-7-1996.)

- Variance Request #2: The maximum permitted area lot coverage by a primary structure is 25%, or 700 square feet in the R2 district. The proposed primary structure covers 769 square feet which is 27.5% of the 2,800 square foot lot. Request a variance to exceed maximum primary lot coverage by 69 square feet and cover a total of 27.5% of the primary lot. Pursuant to section 1123.09(a) (Ord. 91-95. Passed 10-7-1996.)
- Variance Request #3: The required rear yard setback is 40 feet. The proposed rear yard is 20 feet 7 inches. Request a variance of 19 feet 5 inches to reduce the size of the rear yard setback to 20 feet 7 inches from the required 40 feet. Pursuant to section 1123.07 (Ord. 91-95. Passed 10-7-1996.)
- Variance Request #4: The required side yard setback on each side of the primary structure is a minimum of 5 feet. Proposed primary structure is set at 3 feet 2 inches from the west property line. Variance request of 1 foot 10 inches. Pursuant to 1123.07 (Ord. 91-95. Passed 10-7-1996.)
- Variance Request #5: Accessory structures shall not cover more than 25% of the rear yard or 480 square feet, whichever is greater. The proposal a 328 square foot garage in the side yard. Request a variance to place the 328 square foot garage as proposed in the side yard. Pursuant to 1123.09(c) (Ord. 91-95. Passed 10-7-1996.)

Charles McGettrick, Architects, C.A. McGettrick, LLC and Mary Leigh, Programs Manager for the Division of Community Development were present to explain the request. The Board was impressed with the proposal. Discussion ensued about the setbacks of the former structure, square footage of the proposed, the garage. Public comment was closed as there was no one to address the item.

A motion was made by Mr. Mahoney, seconded by Mr. Bindel to **APPROVE** the request for five variances as presented. All the members voting yea, the motion passed.

9. Docket No. 06-10-20 1101 Maple Cliff Dr.

Applicant Charles McGettrick, Architects, C.A. McGettrick, LLC proposes the renovations and addition to the exiting primary structure. The required rear yard setback is 40 feet. The proposed addition would reduce the rear yard setback to 34 feet 6 inches. Property is located in the R1H Residential High-Density Single-Family District. (Page 17)

- Variance Request : Request a variance of 5 foot 6 inches to reduce the rear yard setback from the required 40 feet to the proposed 34 feet 6 inches. Pursuant to 1121.07 (Ord. 91-95. Passed 10-7-1996.)

Charles McGettrick, applicant was present to explain the request. The Board asked about public notices, discussed height variances for any potential future addition. An email of objection was received (made part of record). Discussion continued about the addition being much deeper on the property and approval could set a precedence. Questions were asked about retention and reference of records in the Division of Housing and Building. Discussion continued about approving the variance request with a condition. Administration said the request was a modest one. Public comment was closed as there was no one to address the item.

A motion was made by Mr. Alexander, seconded by Mr. Mahoney to **APPROVE** the request as submitted with the following condition:

- Any variation to the request would have to come before the Board.

Mr. Alexander, Ms. Bolino, Mr. Mahoney, Ms. Otter voting yea, and Mr. Bindel voting nay, the motion passed.

**10. Docket No. 06-11-20
17812 Shaw Ave.**

Applicant John D'Amico of the Great Garage company propose the demolition of the existing garage and the construction of a new wooden garage setback 6 inches from the side and rear property line. The minimum setback for a wood garage is 18 inches. Request a variance to construct a wooden garage 6 inches from the rear and one side property line. Property is located in the R2 Single- and Two- Family Residential District. (Page 28)

- Variance #1 : Accessory structures constructed of wood may not be located within 18 inches of a side and rear property line. Request a variance of 12 inches to place a wood accessory structure 6 inches from the rear lot line. Pursuant to section 1123.10(a) (Ord. 32-16. Passed 9-6-2016.)
- Variance #2 : Accessory structures constructed of wood may not be located within 18 inches of a side and rear property line. Request a variance of 12 inches to place a wood accessory structure 6 inches from the side lot line. Pursuant to section 1123.10(a) (Ord. 32-16. Passed 9-6-2016.)


John D'Amico, applicant was present to explain the request. the Board asked for measurements, asked if there was enough space between the neighboring and proposed garages for maintenance purposes, confirmed there was a property survey, asked why the garage was at an angle, confirmed the structure would have fire barriers, asked about gutter drainage, asked if all the garages in the area abutted one another. Ms. Nochtat stated the administration's position. Public comment was taken from the property owner.

A motion was made by Mr. Bindel, seconded by Mr. Mahoney to **APPROVE** the request for two variances as presented. All the members voting yea, the motion passed.

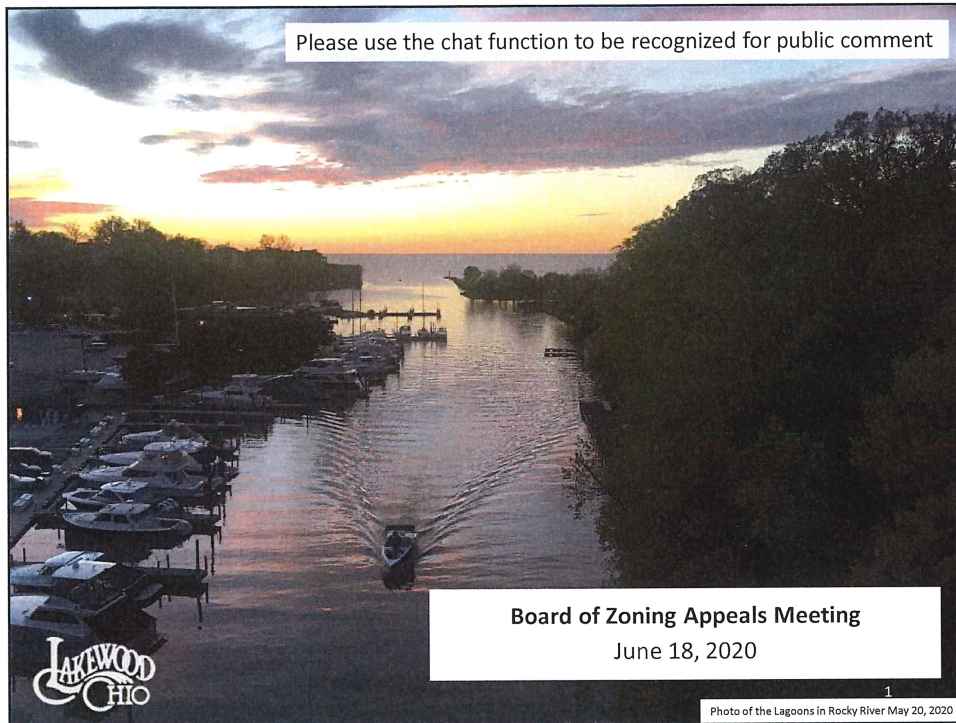
ADJOURN

A motion was made by Mr. Bindel, seconded by Ms. Bolino to **ADJOURN** the meeting at 7:30 P.M. All the members voting yea, the motion passed.

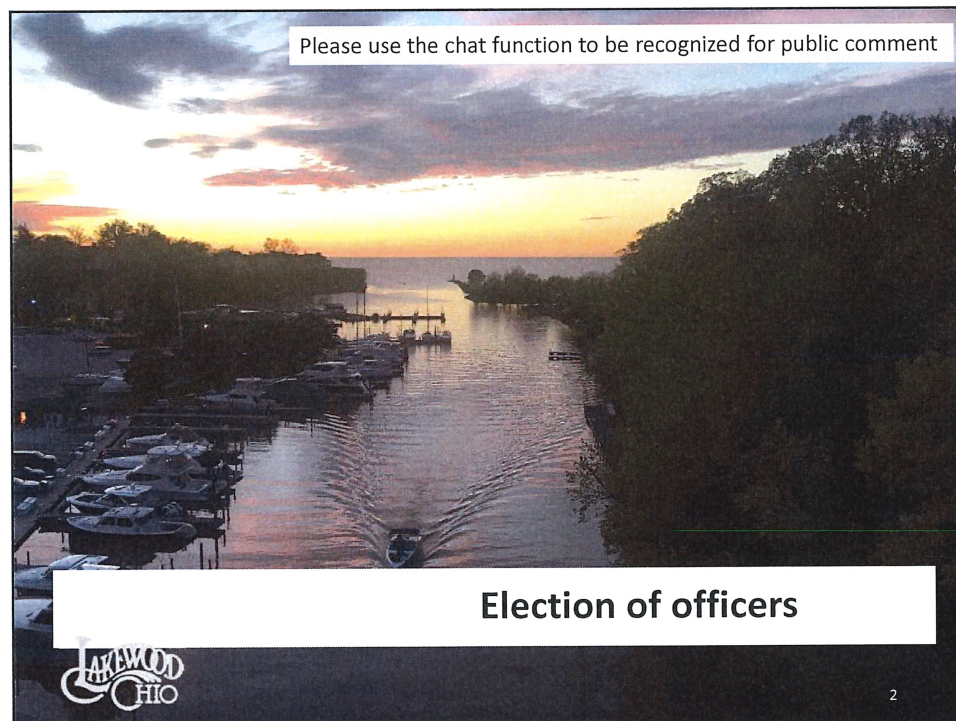

Signature


Date

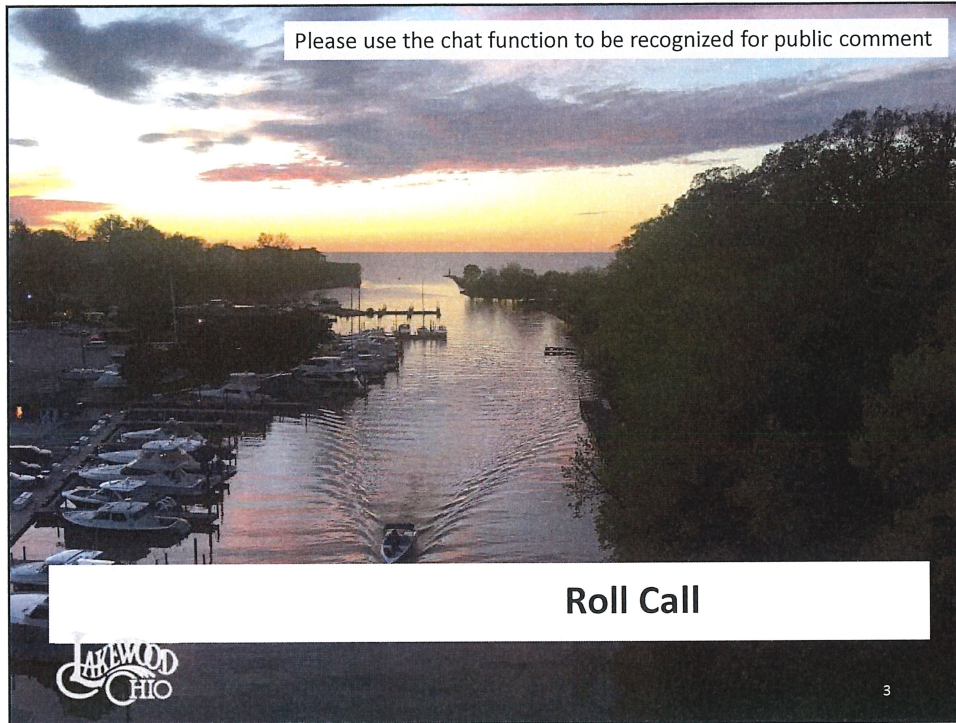




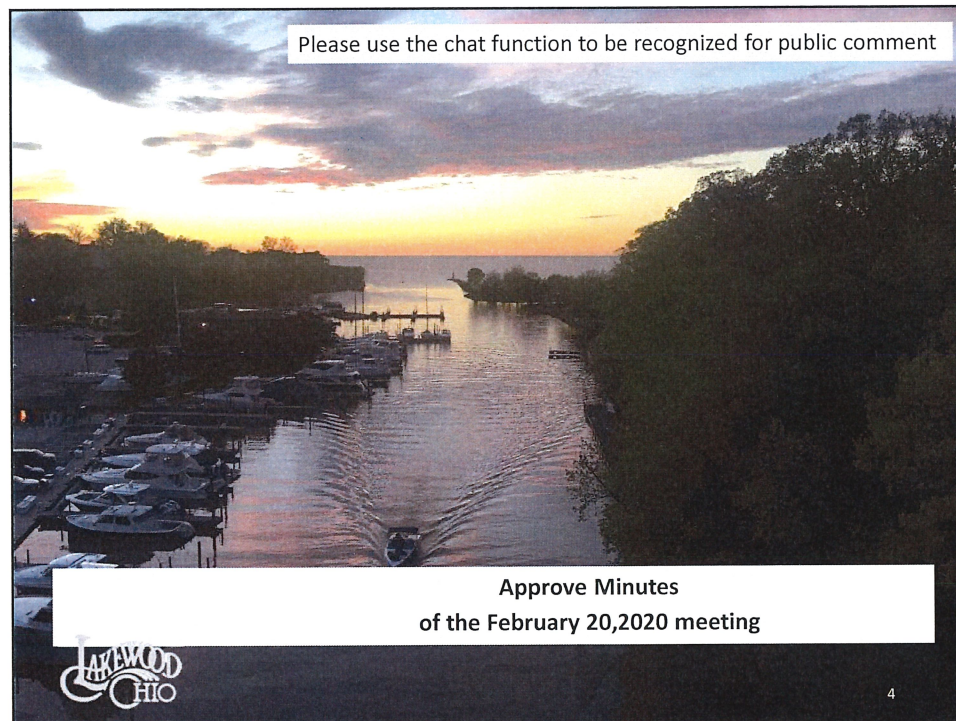
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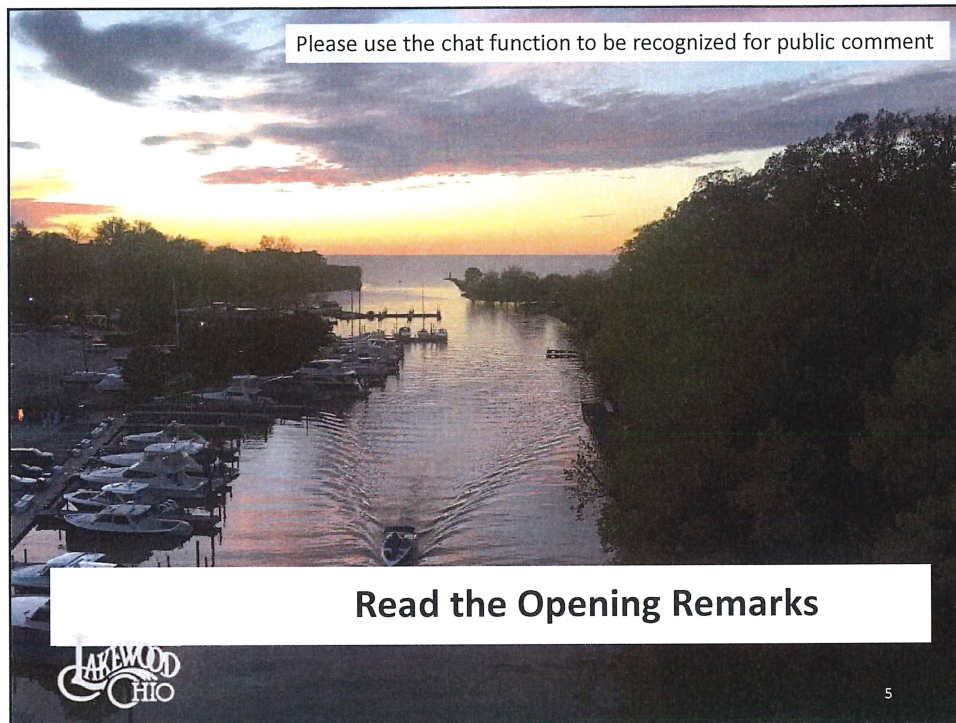
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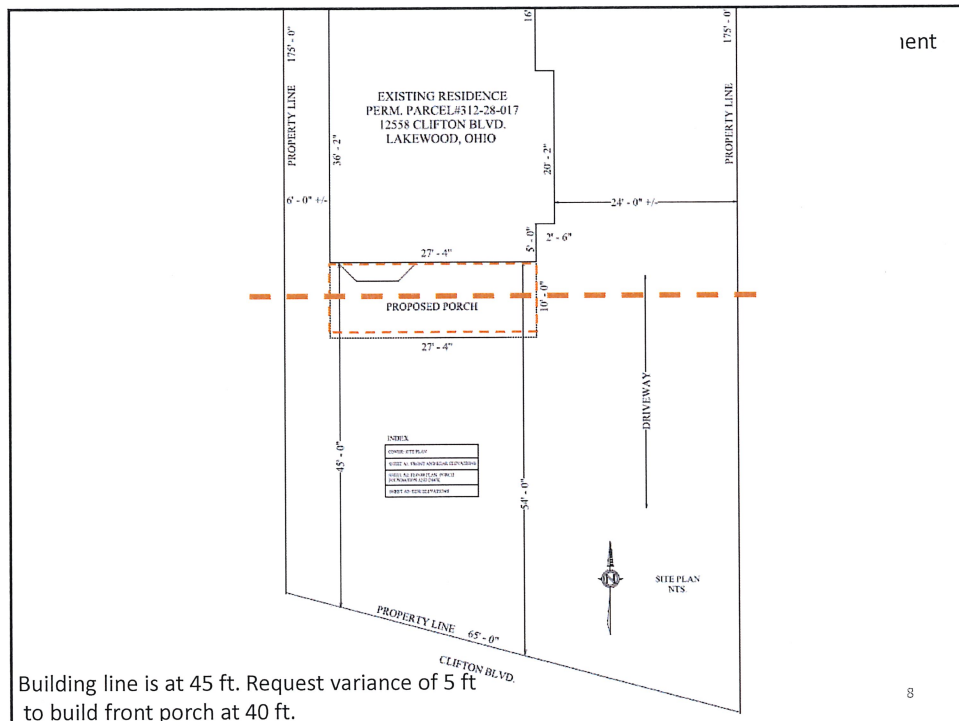
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Docket No. 02-06-20

12558 Clifton Boulevard

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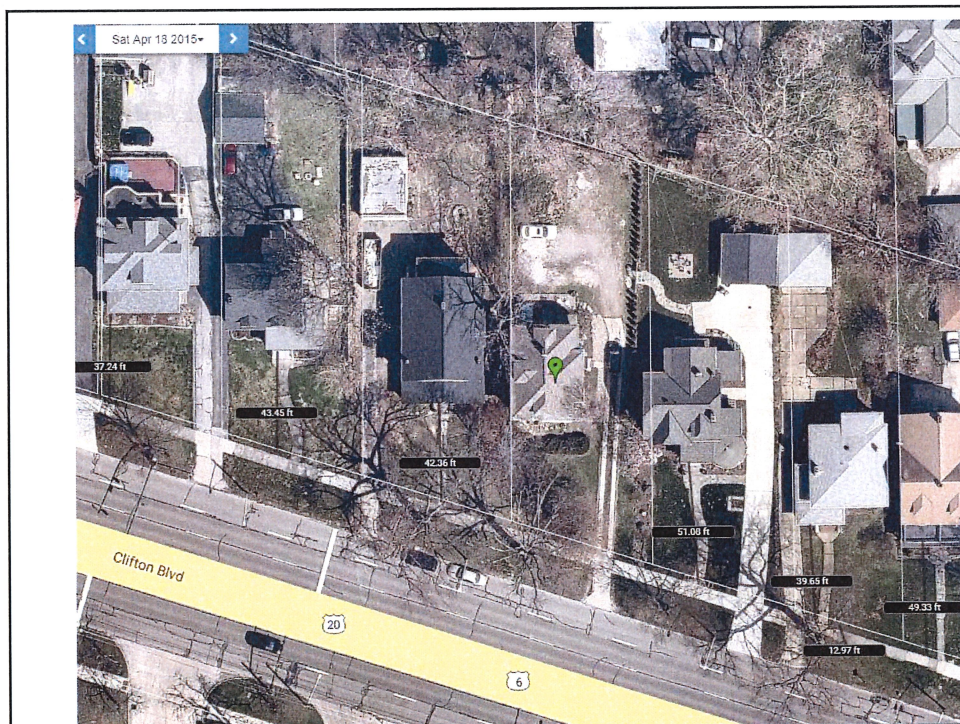
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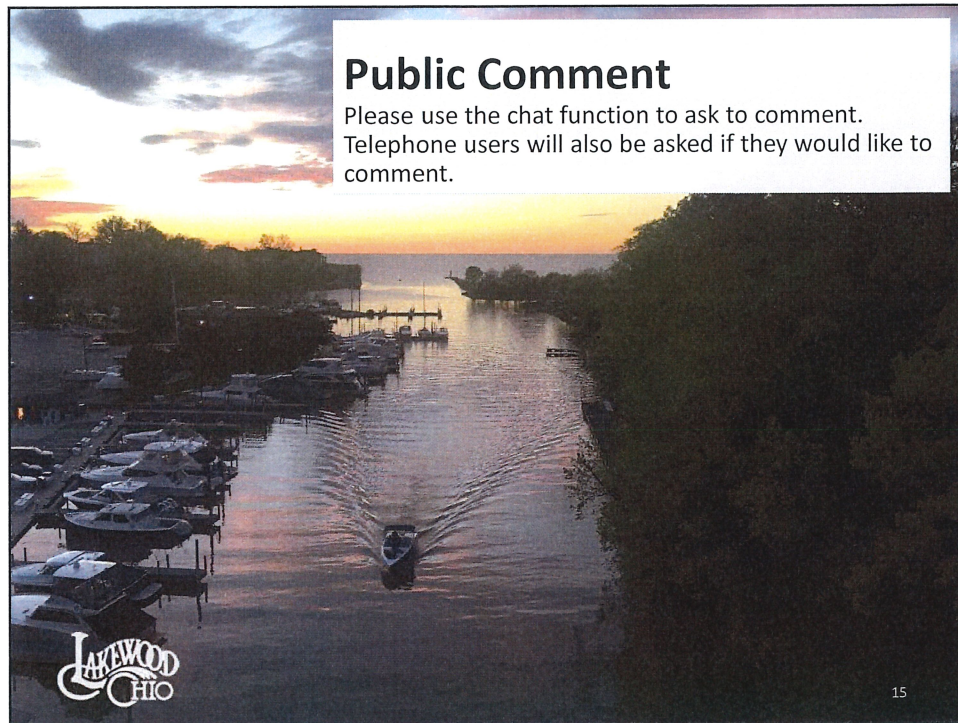
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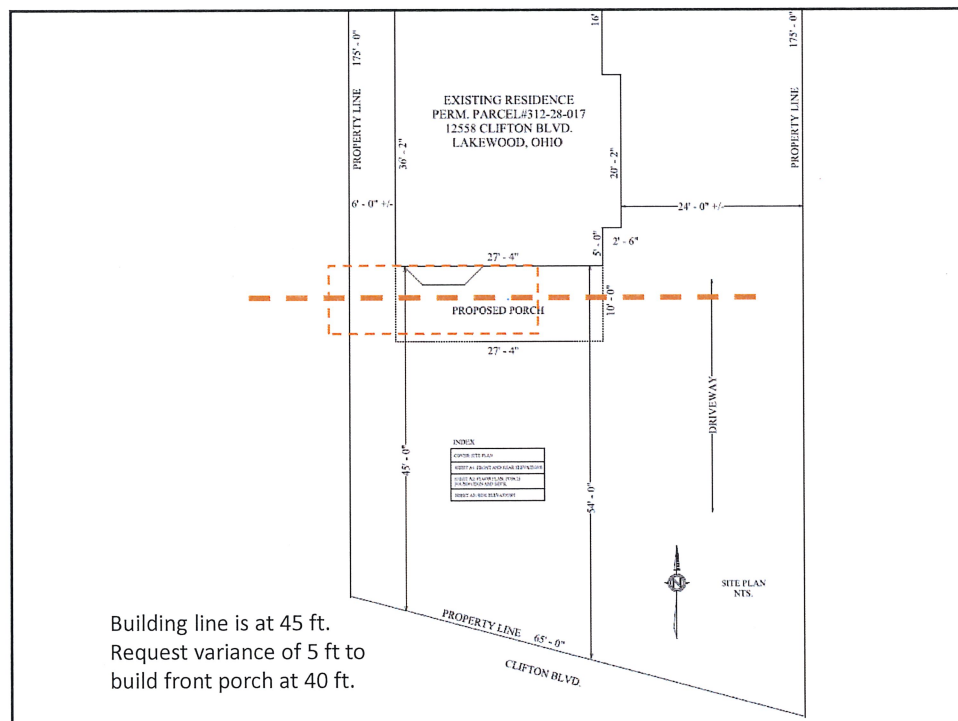
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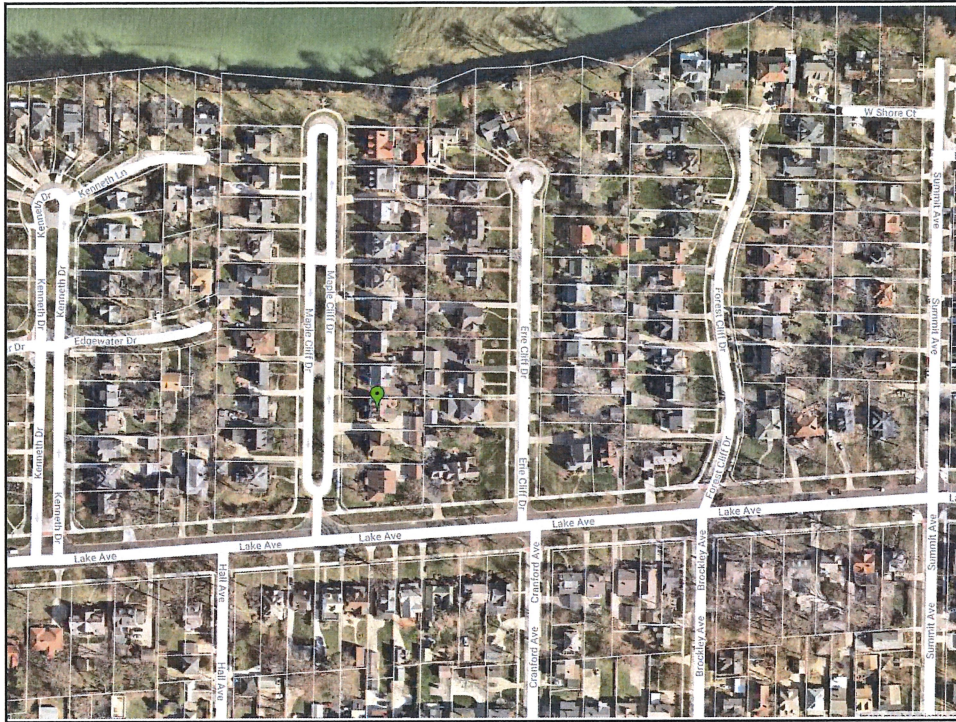
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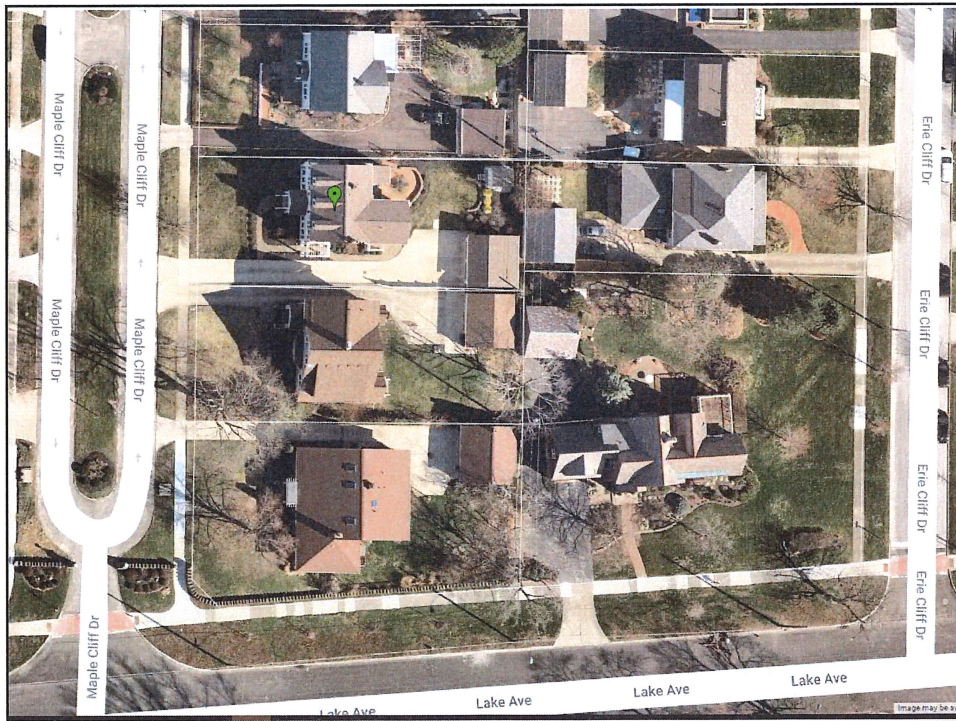
New Business- 1101 Maple Cliff Drive

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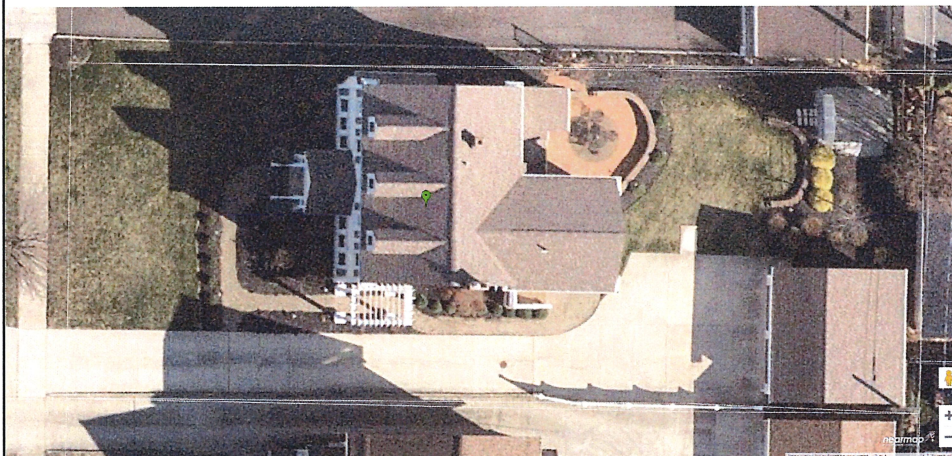
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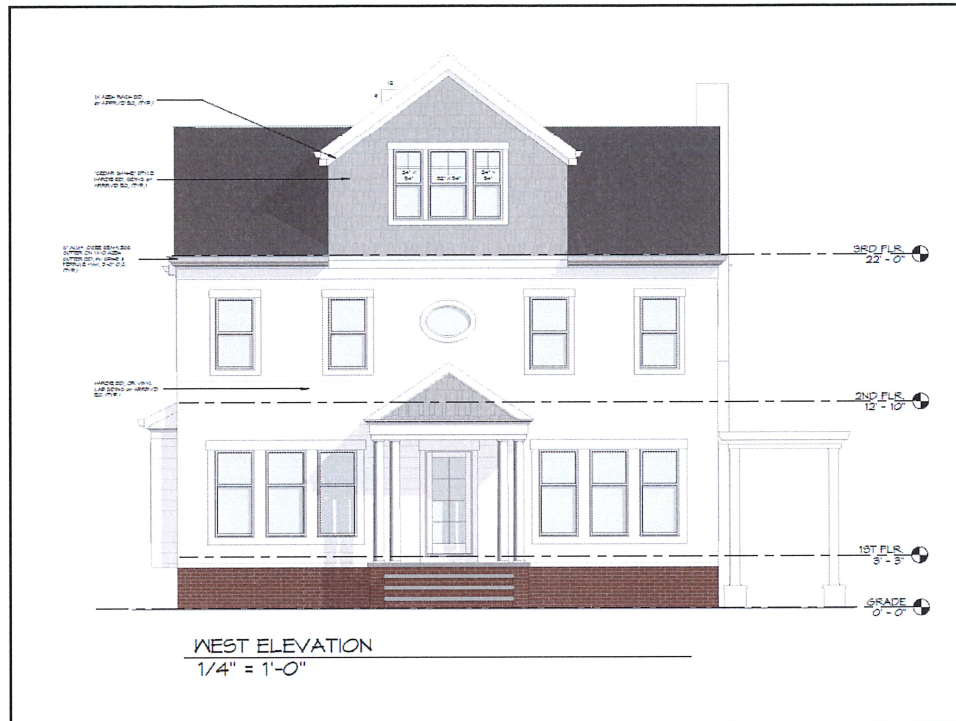
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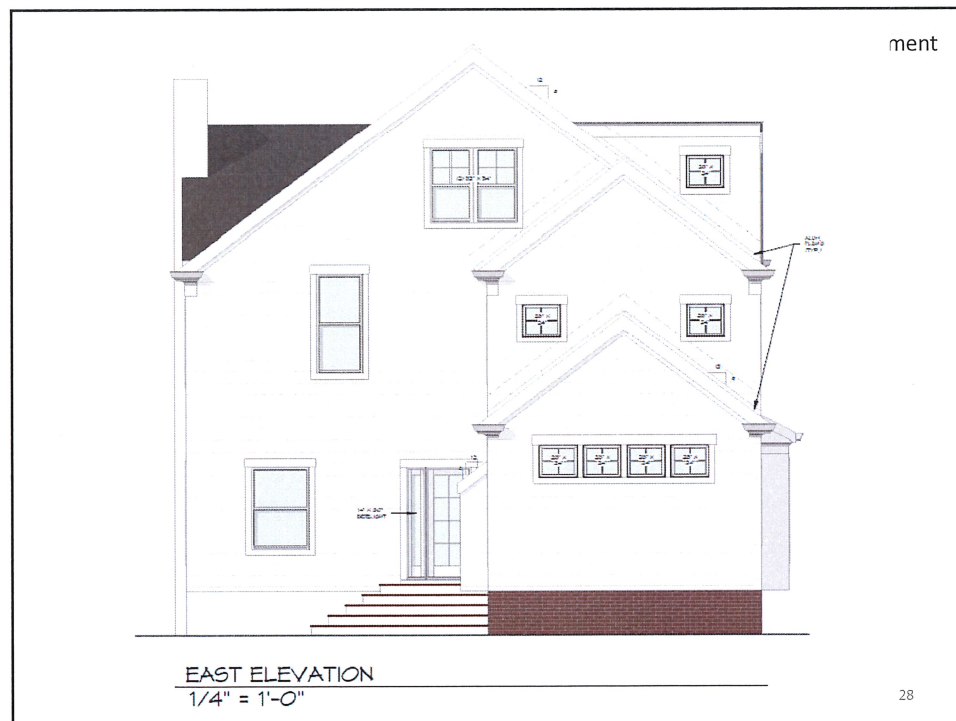
Whether there are site conditions, such as topography, soil, or other factors, unique to the property in question that are not applicable generally to other lands or structures in the same zoning district.	NO, the lot is a standard size for the area.
Whether the property in question is located near a non-conforming or non-harmful use, structure, or site conditions, or whether the property in question is in a less restrictive zoning district.	NO, the property is in a residential area.
Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance(s).	YES, the lot the addition will provide will allow the owner to fully meet their needs, and the lot is a standard size for the area.
Whether the variance(s) is substantial.	NO, the proposed addition, the rear yard setback will be 24.7', which is the required setback is 20'. A difference of 4.7', so not substantial.
Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance(s).	NO, The addition is designed to be in harmony with the existing structure. As a result will not stand out among the neighboring homes.
Whether the variance(s) would adversely affect the delivery of governmental services (e.g., water, sewer, refuse removal).	NO, The addition will have no effect on government services.
Whether the property owner purchased the property with knowledge of the zoning restriction.	NO
Whether the property owner's predicament can be avoided through some method other than a variance(s); and	NO
Whether the spirit and intent of the Code could be observed and substantial justice done by granting the variance(s).	YES, All work will be performed by a very reputable construction company, and all work will be done to code.

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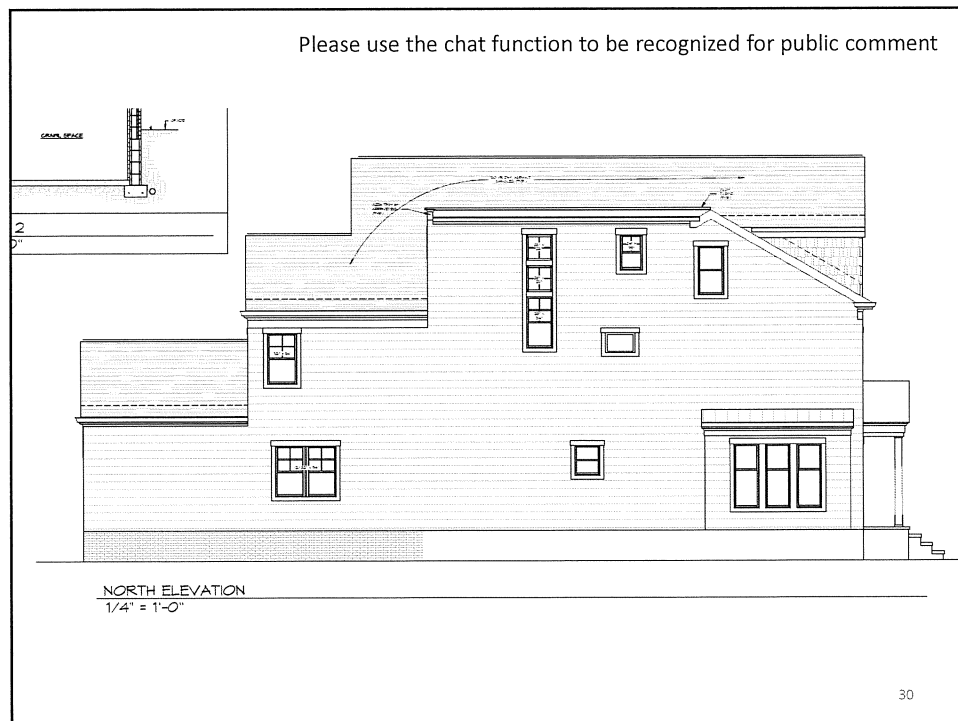
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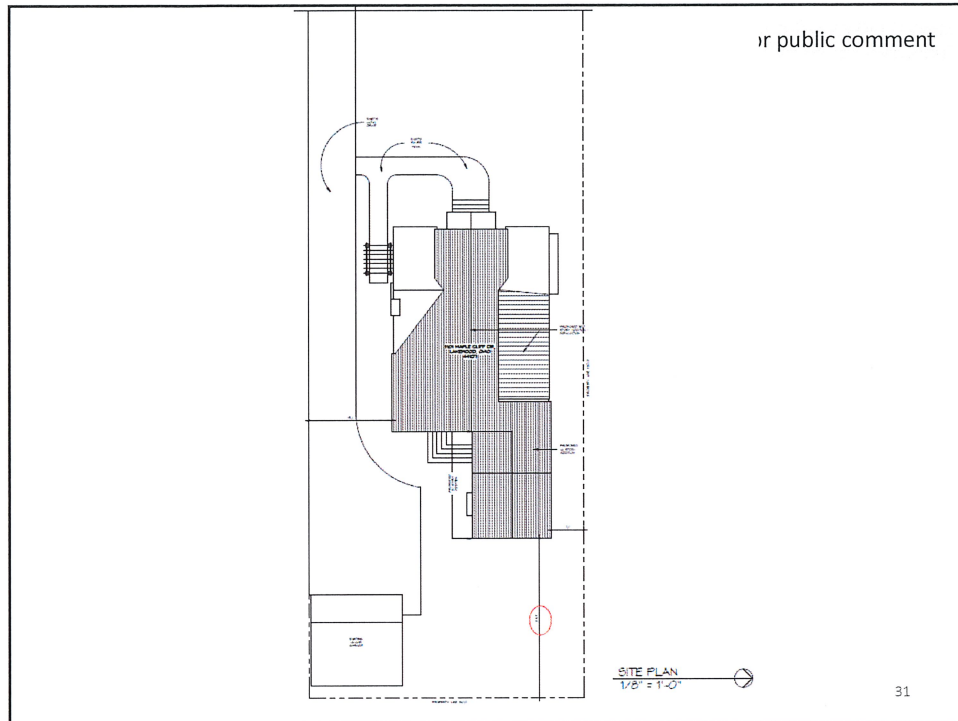
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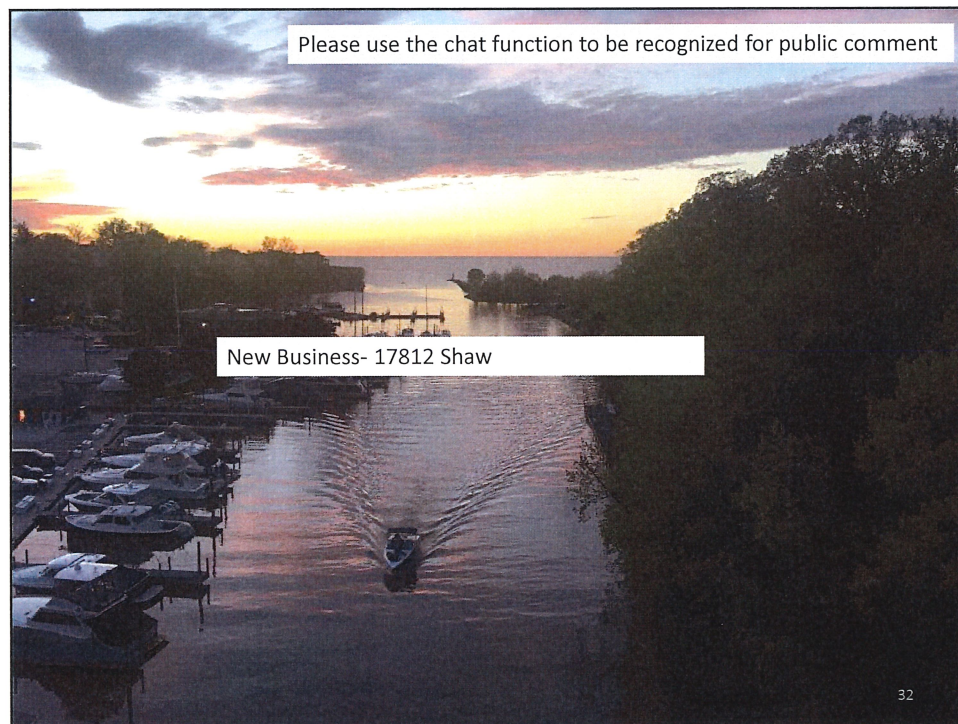
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Dear Board,

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My client is requesting a 12" variance on the sideline and 12" on the rear line of their proposed detached garage, placing their new garage 6" off the side and rear lines. Please note that because the garage is at an angle on the property, we will not maintain the 6" distance along any side but will increase in distance as each opposite corner moves away from each starting point of 6" (see prints). Just as the current garage location is currently angled 16" (+/-) off the sideline at the front of the garage and 24" (+/-) at the rear. In addition we will be utilizing a one-hour firewall on the side and rear walls.

At 18' deep, the current garage is way undersized, not up to today's standards and can barely fit a car inside. The proximity of the garage to the house steps located off the rear porch is 11' (+/-). Finally with the garage being only 12' wide I think we can all agree that it leaves no room for the most basic storage needs to run a household.

We are simply trying to provide this property with one covered parking spot and a small amount of storage, as we seek to build an 18' x 20' garage. Seeing that a standard garage starts at 20' x 20', this proposed garage will be at the same size as many other garages in the neighborhood or more likely, smaller than most.

Parking a vehicle inside is paramount to alleviate off street parking. The short lot that this home has only allows one guest car to park and our client has two cars that consume two of the three spots available on their property. Shaw is a short street with a good amount of doubles and multi family housing at the end of the street. In addition, restricted parking on Webb during school hours creates even more of a demand for parking on Shaw, which doesn't leave much room for residents.

Without this variance my clients would be forced to shrink what we feel is already at a minimum garage size, plus reduce the overhead door size as to clear the gate and keep the door out of the envelope of the house. With the house located close to the rear of the property, it would leave us about 5 1/2' from the garage to the rear steps.

We don't believe this variance would be substantial in any way because it conforms closely to the majority of the garages that are built close to the property line with some being on the line.

By granting this homeowner full use of their property, there would be no effect on any city services, no special privileges would be provided. There are no circumstances here that the homeowner created.

And finally we believe the spirit and intent of the zoning requirement would be maintained under these special circumstances by granting this variance.

We ask that the board would strongly consider our recommendation.

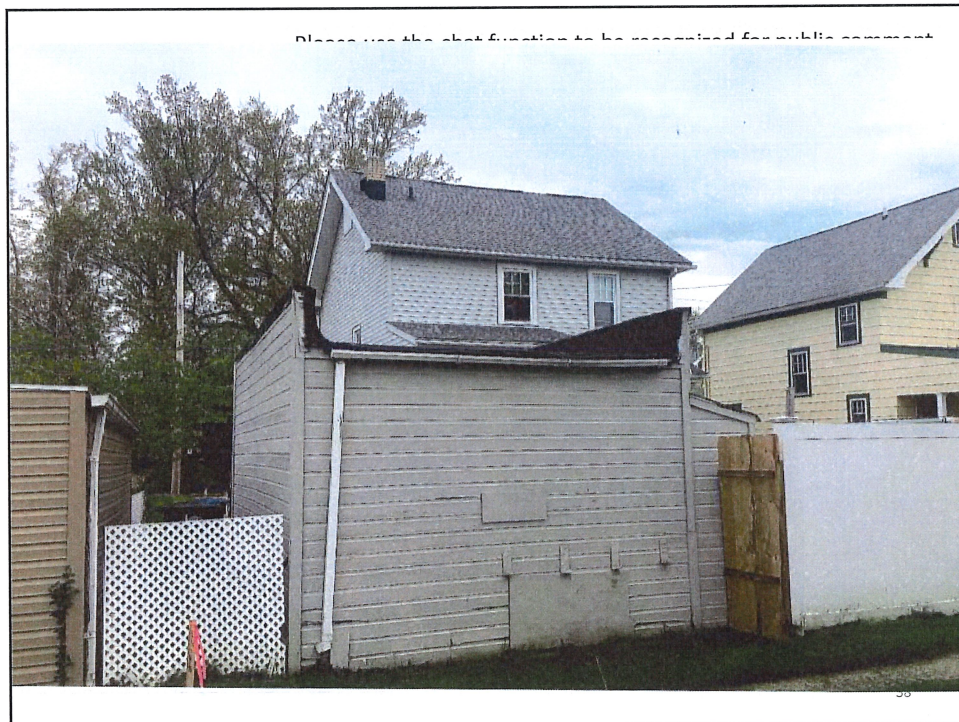
Thank You,
John D'Amico
The Great Garage Company

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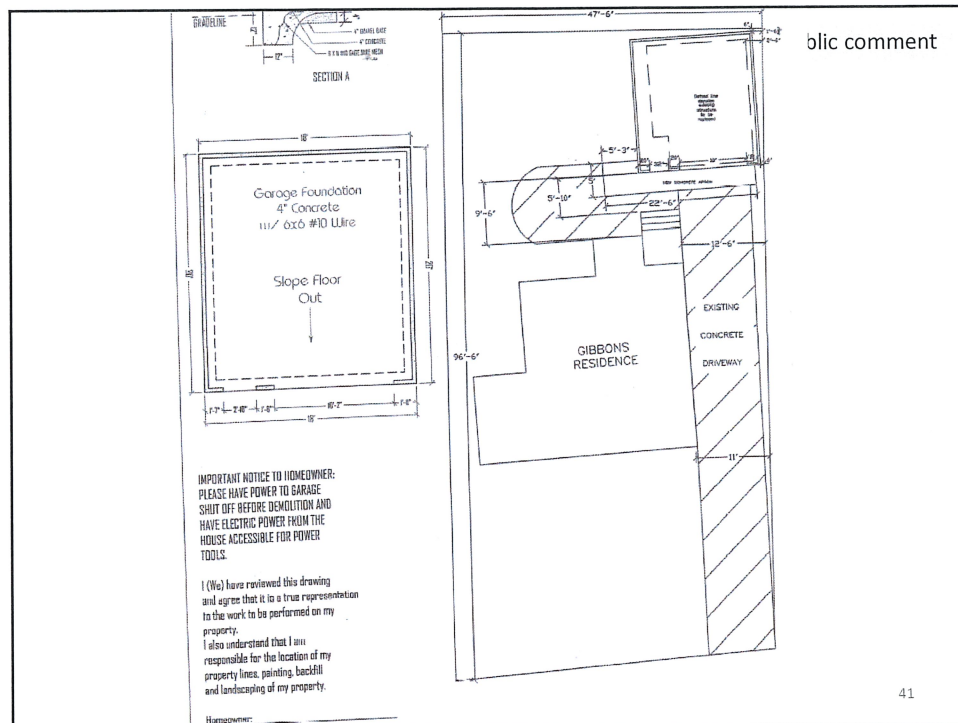
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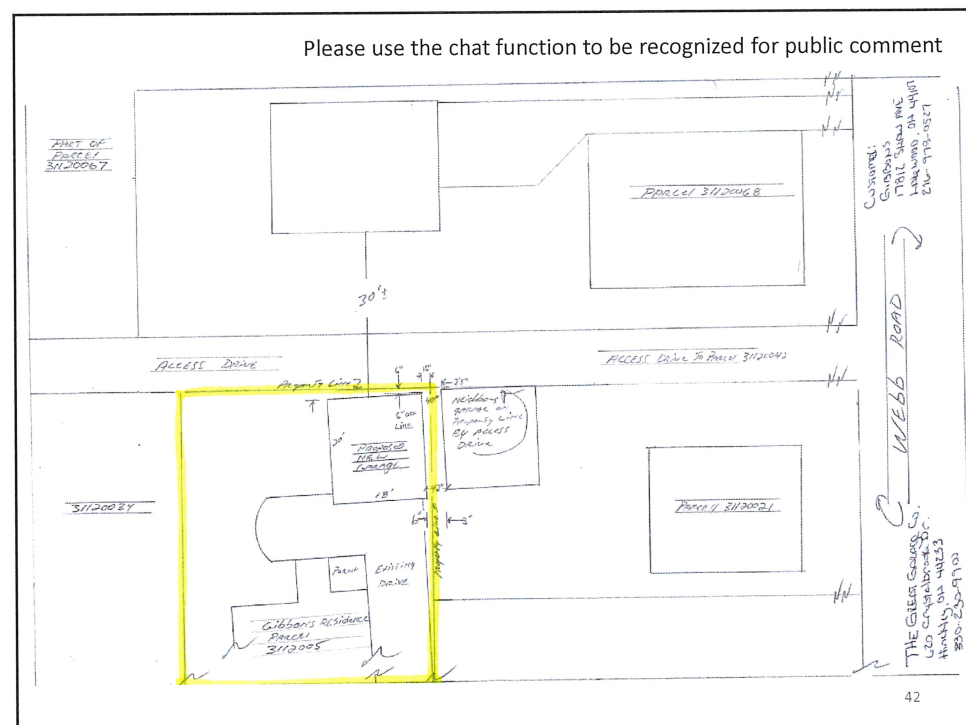
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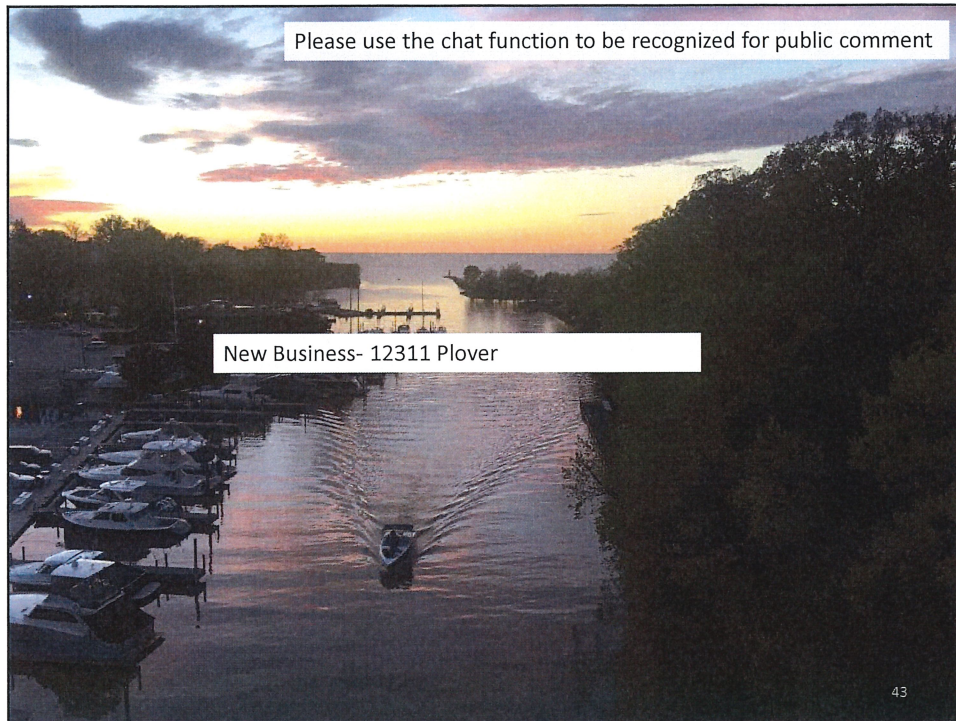
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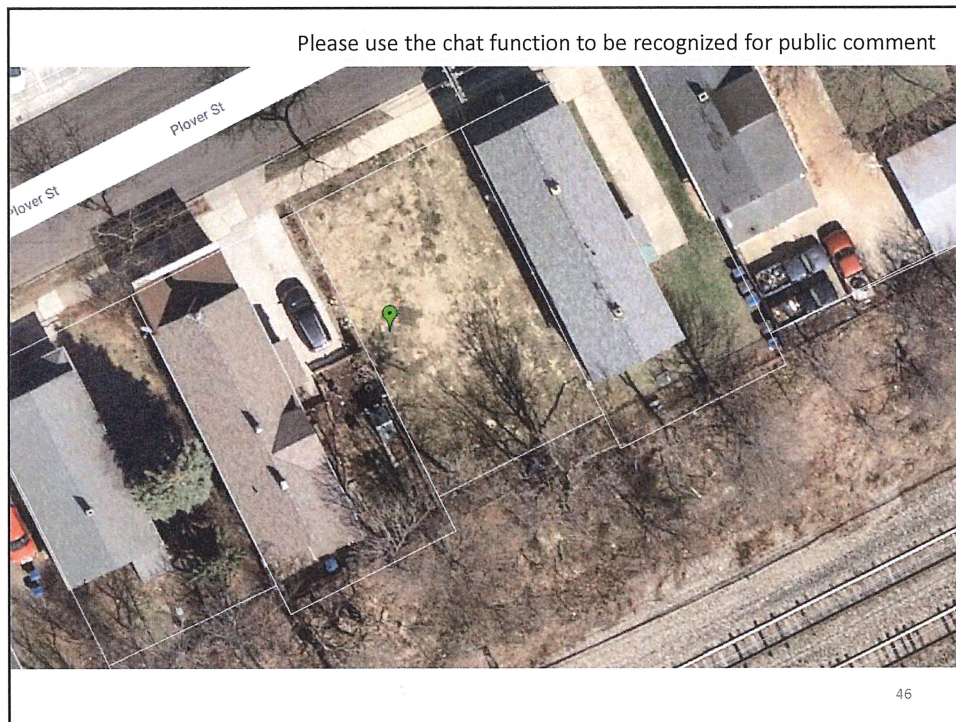
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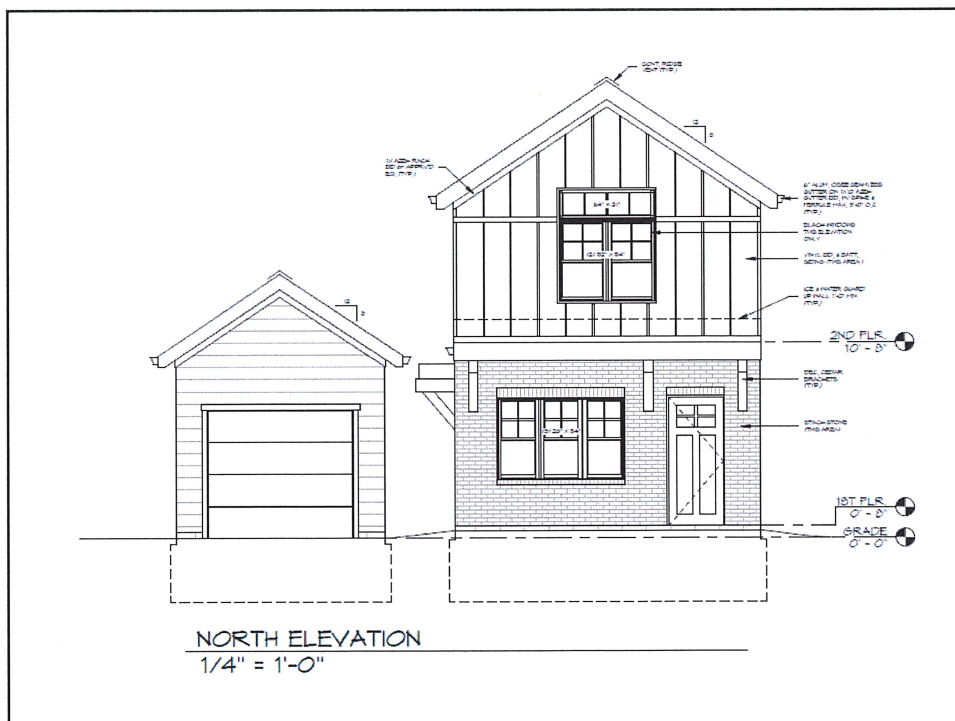
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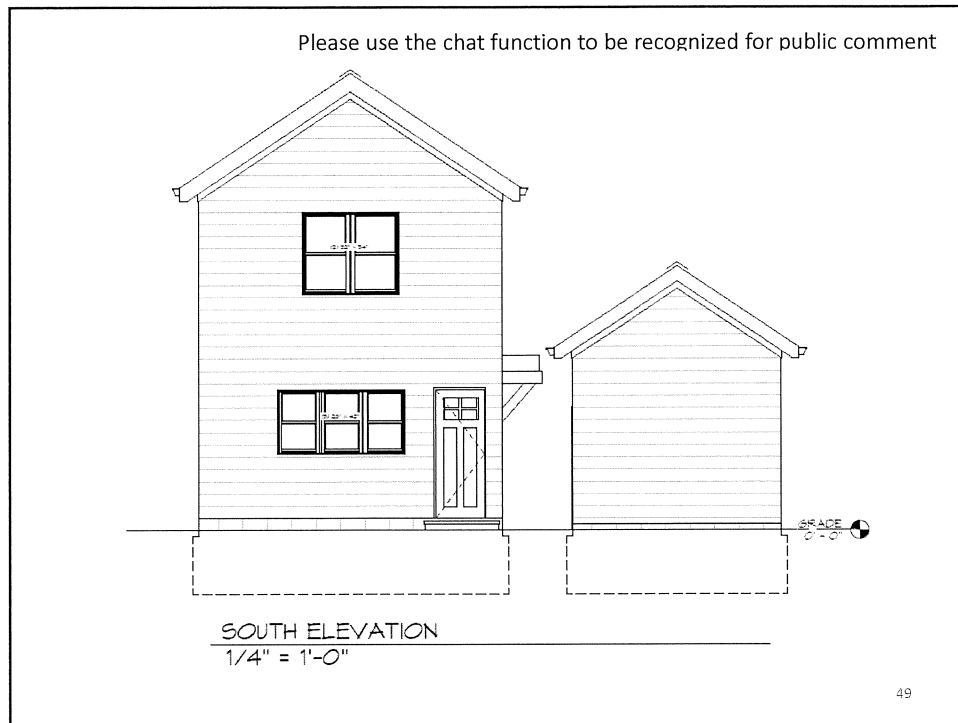


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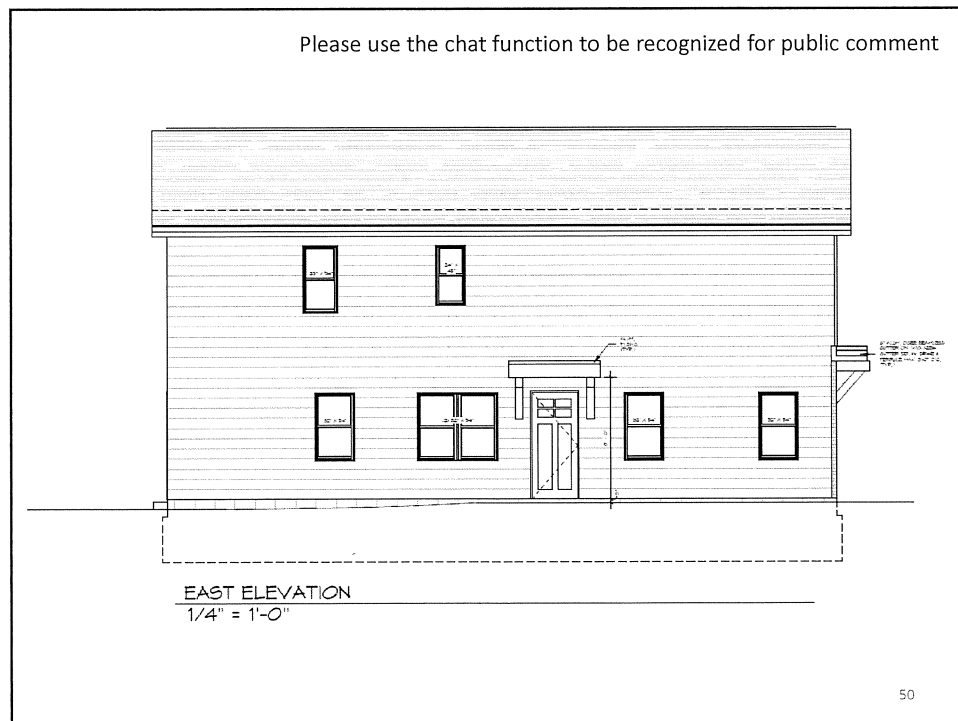
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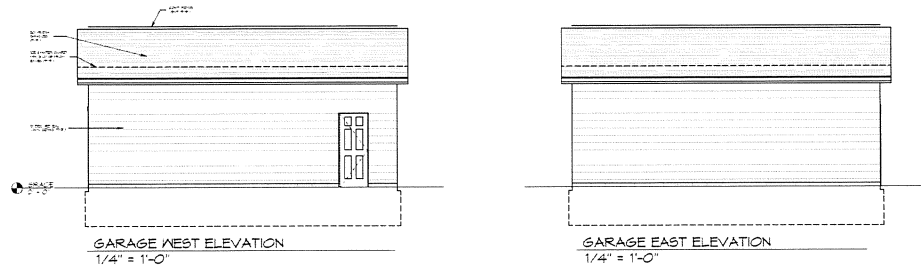


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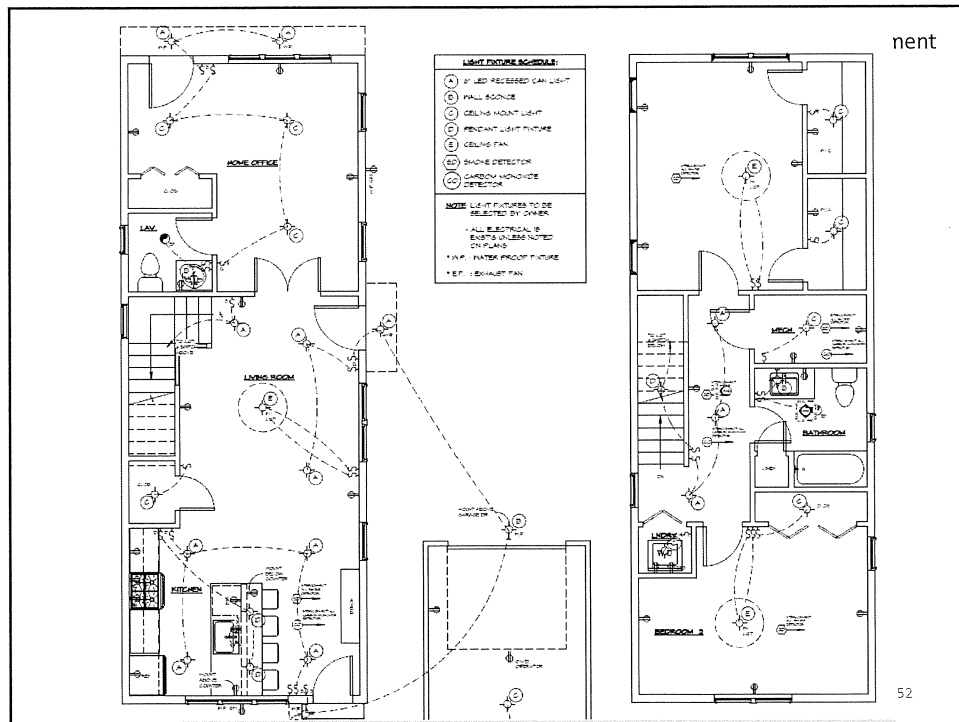
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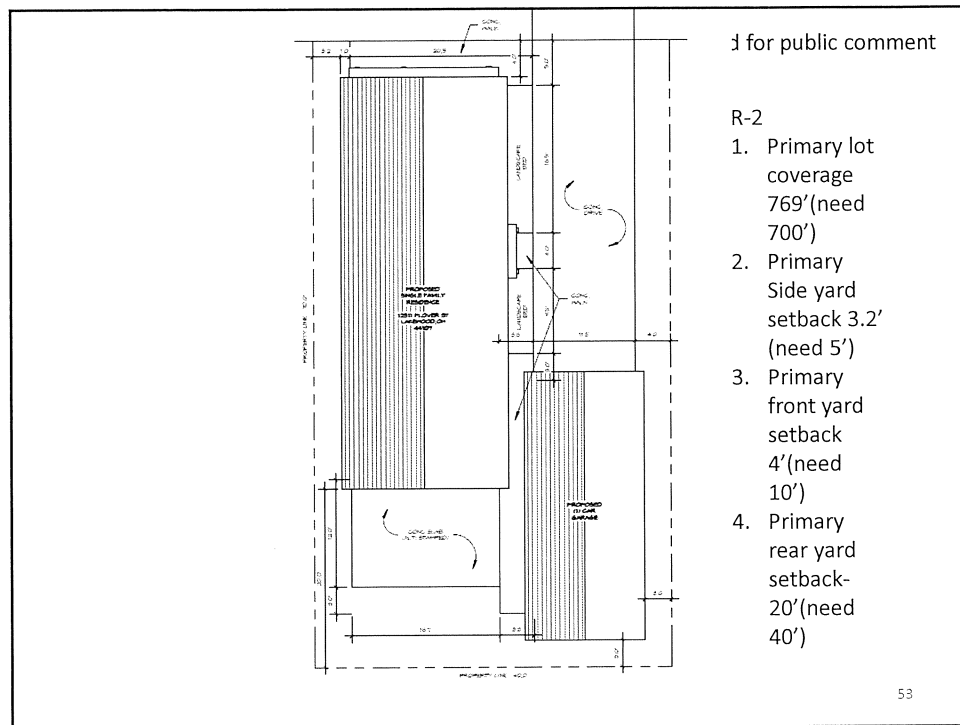
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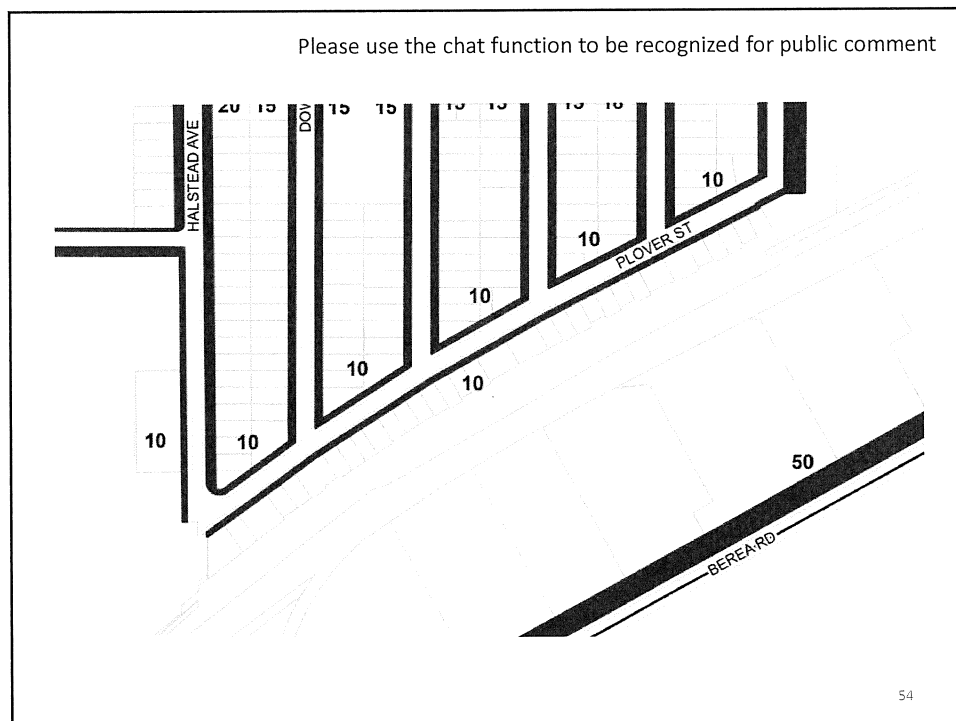


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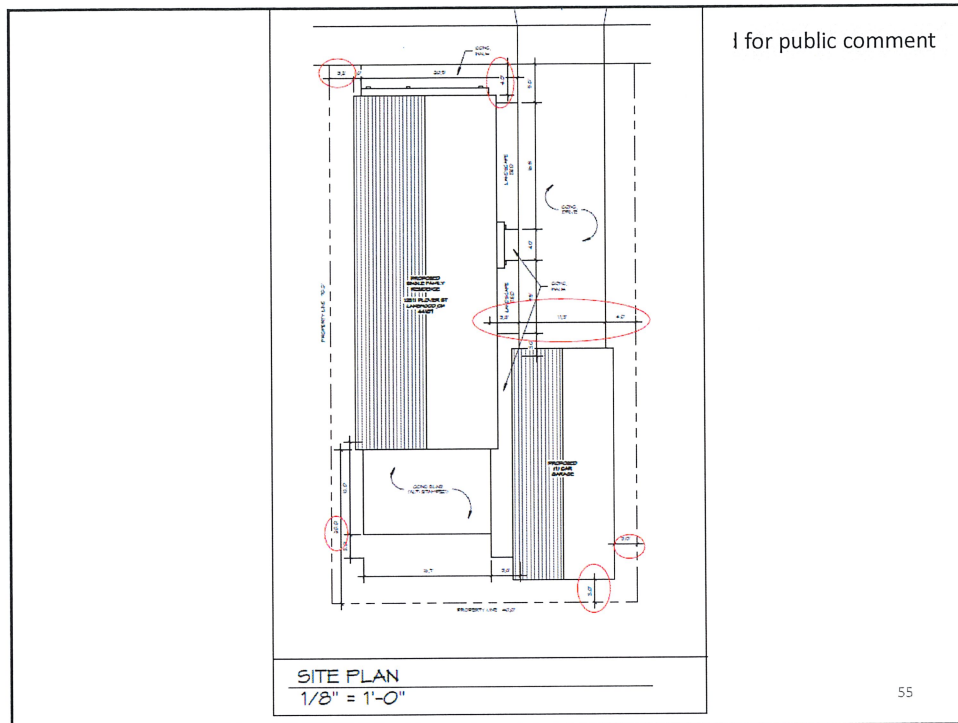
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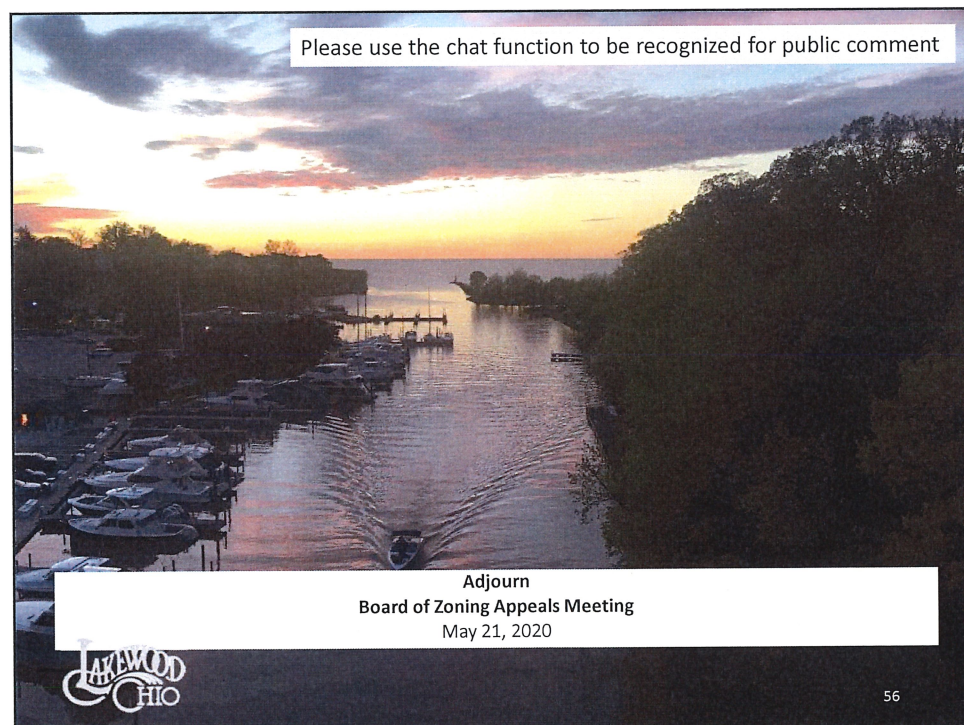
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FILE COPY

BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com/development

Application Cover Page

Docket No.: 07-12-20

Reference No.: BZA20-000024


Applicant Name: Nicholas and Christina LaPointe

Project Name:

Project Address: 1295 Manor Park Avenue

**Proposal: The reconstruction of a historic side porch and installation of a new
front porch.**

Fee Paid: \$25.00



Murielle Norbert
Chairman
for Christopher Burdell

**SETBACK DIMENSIONS PRIMARY
STRUCTURE (GARAGE EXCLUDED)**

	EXISTING	PROPOSED
WEST	48'-0"	45'-4"
SOUTH	7'-8"	8'-5"
EAST	166'-2"	165'-2"
NORTH	2'-4"	2'-4"

SHEET INDEX	
NO.	DRAWING SUBJECT
1	SITE PLAN
2	DEMOLITION PLAN
3	PORCH FRAMING & FLOOR PLAN
4	CROSS SECTION (FRONT)
5	CROSS SECTION (SIDE)

GENERAL NOTES:

1. PROPERTY ADDRESS:
1.1. 1265 MANOR PARK AVE.
LAKENOW, MO 64107
2. BUILDING:
2.1. 2017 GIG RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS
3. LOT SIZE: 45'
4. LOT DEPTH: 27'4"
5. PROJECT INCLUDES:
5.1. DEMOLITION EXISTING FRONT & SIDE COVERED
4.2. 170 S.F. SIDE PORCH
4.3. 336 S.F. COVERED FRONT PORCH
6. DESIGN LOADS:
6.1. FLOOR LIVE LOAD: 20 P/SF
6.2. ROOF LIVE LOAD: 20 P/SF
6.3. FLOOR LIVE LOAD: 40 P/SF
6.4. WIND LOAD: 80 MPH
6.5. NO MECHANICAL, ELECTRICAL OR PLUMBING WORK PLANNED AT THE TIME OF PHASE I APPLICATION
6.6. HURRY REPAIRS COVER BY OWNERS.

CONTRACTORS.

7.1. MATERIAL SPECIFICATIONS.

7.1.1. PERCH DECK TIMBER TRAVING UNDER AZEK FRONT & SIDE PORCH FLOOR FRAMING & FLOORING: UC-3B ABOVE GROUND, NO. 2 HARDWARE: UC-3B ABOVE PRESSURE TREATED SOUTHERN YELLOW PINE.

7.1.2. TIMBER TRAVING UNDER SOUTHERN YELLOW PINE: UC-3B ABOVE GROUND, NO. 2 HARDWARE: UC-3B ABOVE PRESSURE TREATED SOUTHERN YELLOW PINE.

7.1.3. REINFORCEMENT: DEFORMED BAR CONFORMING TO ASTM A-814 GR. 60.

7.1.4. CONCRETE: 3,500 PSI AIR ENTRAINED, W/C RATIO 0.5 MAX, GRADE "B" CEMENT 90-03.

7.1.5. BACKFILL: "B" CEMENT TO 3 PART LIME TO 3 PARTS SAND.

7.1.7. EXISTING DAMP, LOOSE SAND, COLOR TO MATCH EXISTING GRAD.

7.1.8. GROUT: 1 PART CEMENT TO 3 PARTS SAND TO MAX. 4 PART LIME SURFACES TO BE GROUTED TO EXISTING SURFACES OF FOUNDATION.

7.1.9. SEPARATION OF MAX. PARTICLE SIZE OF GRAVEL TO MAX. PARTICLE SIZE OF PFA GRAVEL.

[illegible]

1295 MANOR PARK AVE.
FRONT & SIDE PORCH PROJECT
PROJECT DESCRIPTION

In 2016, my family and I relocated to Lakewood, OH. We chose the City of Lakewood because of its sense of community, diversity, its walkability, and its location. We adore the architecture of the homes and the front porches where neighbors catch up on current events. In early 2020, after removing sagging portions of the existing side porch ceiling, I found improperly framed ceiling rafters creating the sagging conditions in the ceiling and cracking of the column capitals. Additional rotten deck joists and other conditions issues were found as I continued in my exploratory efforts to possibly salvage the side porch of our home. Out of a concern for safety, the side porch was demolished in the Spring of 2020.

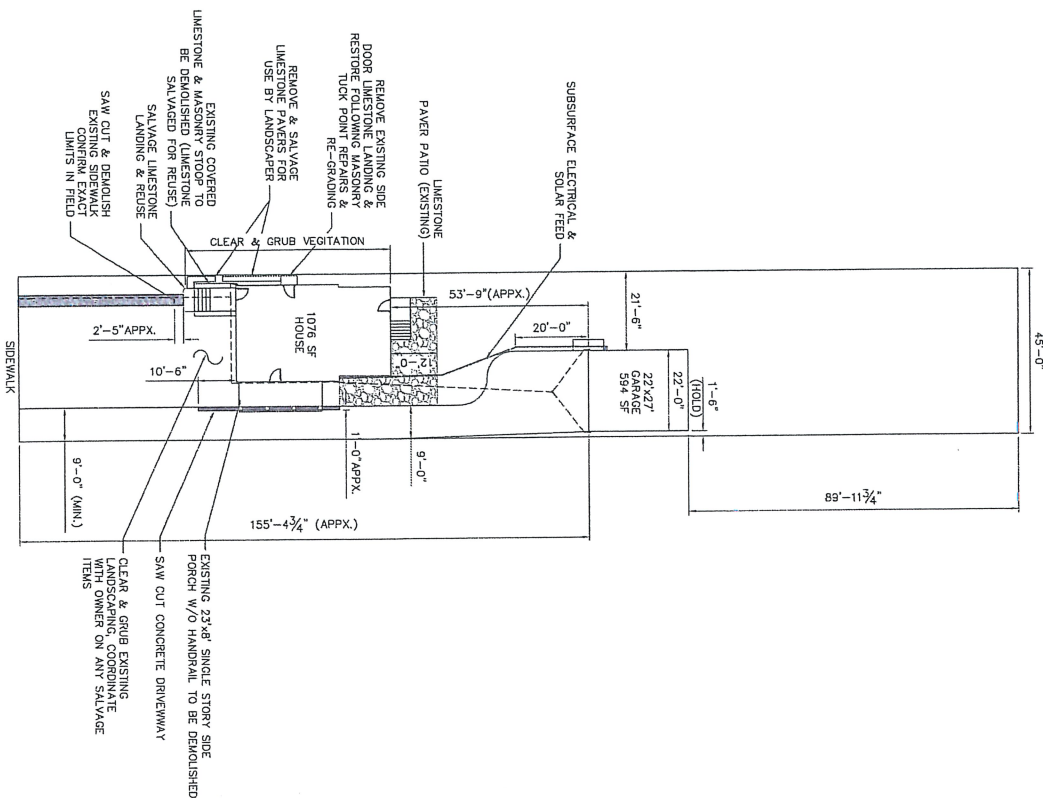
The 1295 Manor Park Front & Side Porch Project will fully reconstruct the side porch and turn it into a space which can be enjoyed majority of the year as a three-season porch. The side porch will be appx. 130 square feet. Minor adjustments to the side porch width will also increase the existing driveway clearance by appx. 6". To the east (rear of home), the side porch will open up onto a limestone landing through a double set of French doors to a set of stairs which will be constructed to match the stairs in the front of the house. This will connect our limestone patio to the side porch. To the west (front of home), the three-season porch will open up to a newly installed front porch (330 square feet) which will match and be architecturally consistent with the homes immediately to the right and left of our home at 1295.

It is not only important to us that we complement the other homes on our block, we believe it is important that the changes we make match the existing design of our home. Therefore, we intend on matching many of the existing details and plan on salvaging and reconstructing similar features. This includes reusing the historic columns, repurposing the side porch planter boxes, side three season porch window/door selection, limestone stair treads and cap stones, existing stoop roof details, etc.

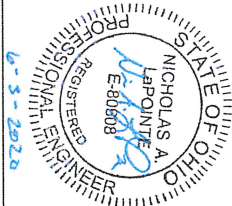
If you should have any questions, please do not hesitate to contact me regarding this Project.



Nicholas A. LaPointe, P.E.
Homeowner
419-349-7553
Nalapointe1@gmail.com

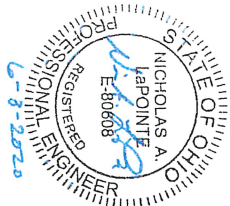


1295 MANOR PARK DEMOLITION PLAN



SCALE	Drawing Number	DEMO PLAN-02	Approved
AS NOTED			
DATE	DESIGN/DATE	FOR CONSTRUCTION	REMARKS
05/31/2020	NAL NAL		
1295 MANOR PARK AVE.			
LAKEWOOD, OH			
PORCH DEMOLITION PLAN			

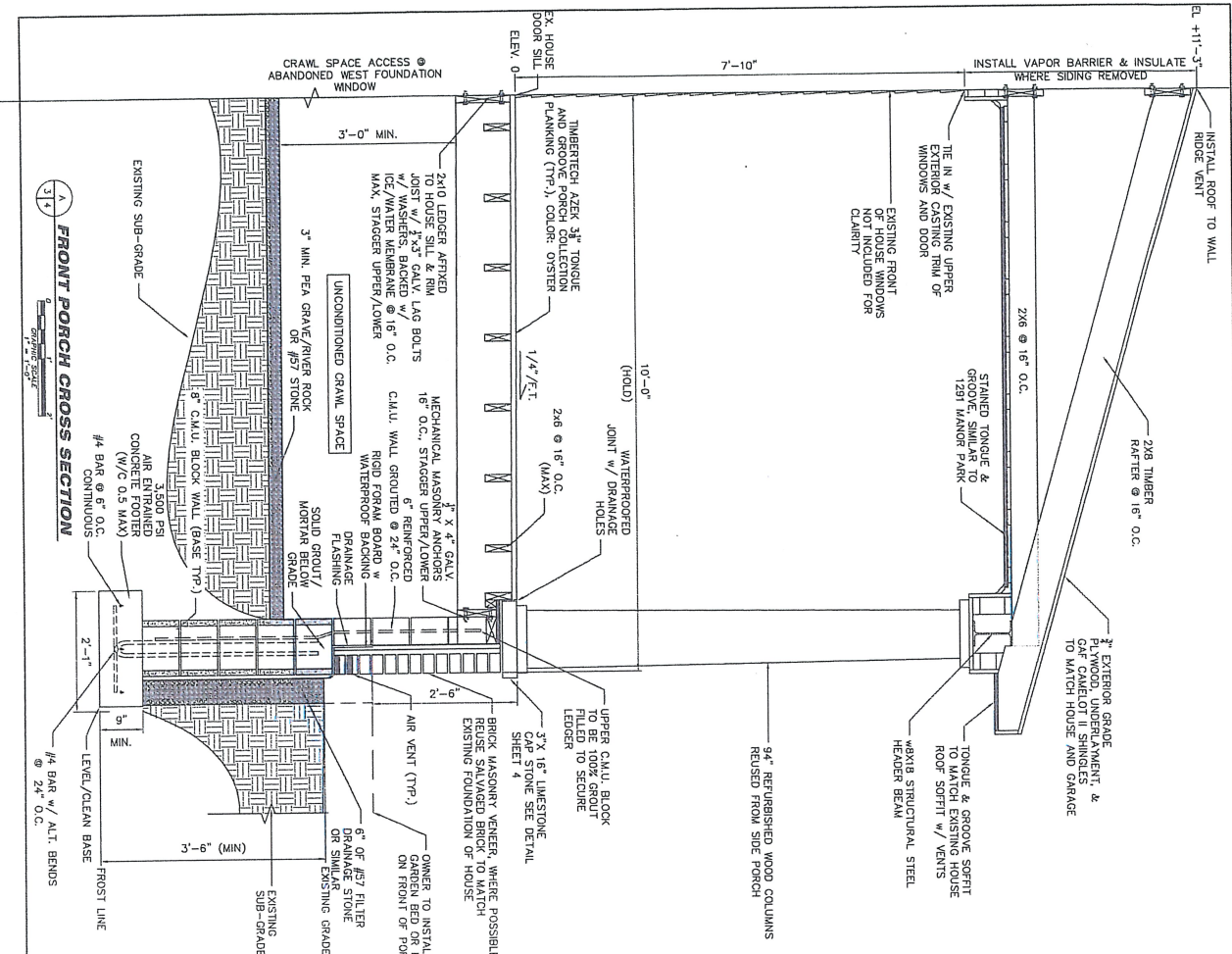
FOR CONSTRUCTION



PORCH REPLACEMENT FLOOR FRAMING & FINISH PLAN

SCALE	Drawings & FRAMING PLAN	Approved
AS NOTED	Number	03

Document: \\POC-FPS1\UserFolderRedirection\lapointe\My Documents\1295 Manor Park\Front Porch\1295 Manor Park Front Porch Drawing Set 4.26.2020.dwg/FLOOR & FRAMING PLAN - 03, 5/31/2020 8:50:01 AM, Plot Scale: 0.48661, Paper Size: Tabloid, Plotted By: Nicholas LaPointe, Pen Table: SKW.ctb



FRONT PORCH CROSS SECTION

Scale: 1/4" = 1'-0"

AS NOTED

1295 MANOR PARK AVE.
LAKEWOOD, OH

DATE: 05/31/20
BY: [Signature]

FOR CONSTRUCTION

1295 MANOR PARK AVE.
LAKEWOOD, OH

DATE: 05/31/20
BY: [Signature]

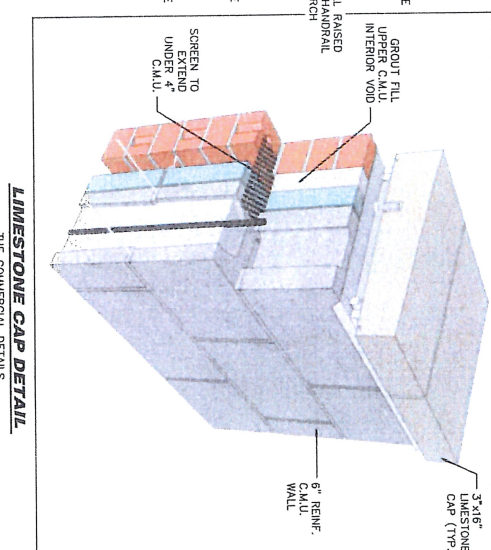
FOR CONSTRUCTION

1295 MANOR PARK AVE.
LAKEWOOD, OH

DATE: 05/31/20
BY: [Signature]

FOR CONSTRUCTION

1295 MANOR PARK AVE.
LAKEWOOD, OH



LIMESTONE CAP DETAIL

THE CONSTRUCTION DETAILS MAY BE REFINED TO MORE SIMPLIFIED RESIDENTIAL DETAILS THROUGH COORDINATION WITH THE ENGINEER OF RECORD/HOMEOWNER.

SCALE: 1/4" = 1'-0"

AS NOTED

1295 MANOR PARK AVE.
LAKEWOOD, OH

DATE: 05/31/20
BY: [Signature]

FOR CONSTRUCTION

FOR CONSTRUCTION

1295 MANOR PARK AVE.
LAKEWOOD, OH

DATE: 05/31/20
BY: [Signature]

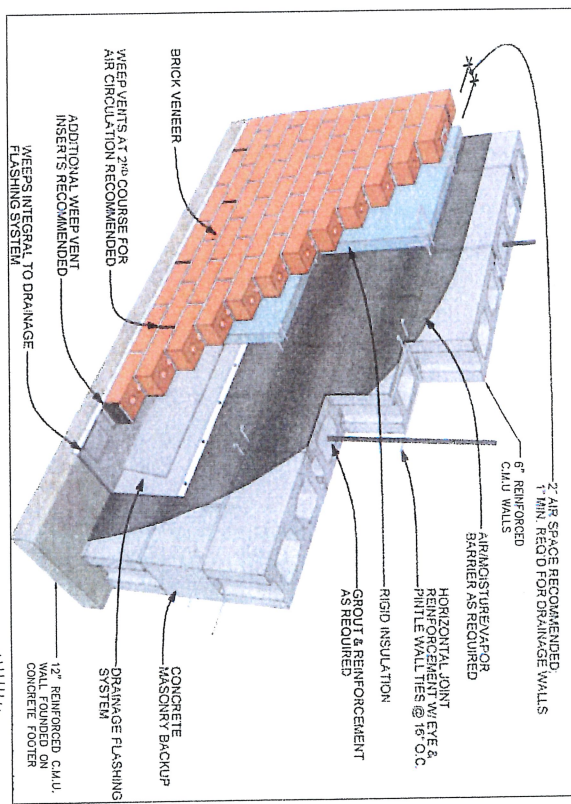
FOR CONSTRUCTION

1295 MANOR PARK AVE.
LAKEWOOD, OH

DATE: 05/31/20
BY: [Signature]

FOR CONSTRUCTION

1295 MANOR PARK AVE.
LAKEWOOD, OH



FOUNDATION DETAILS

THE CONSTRUCTION DETAILS MAY BE REFINED TO MORE SIMPLIFIED RESIDENTIAL DETAILS THROUGH COORDINATION WITH THE ENGINEER OF RECORD/HOMEOWNER.

SCALE: 1/4" = 1'-0"

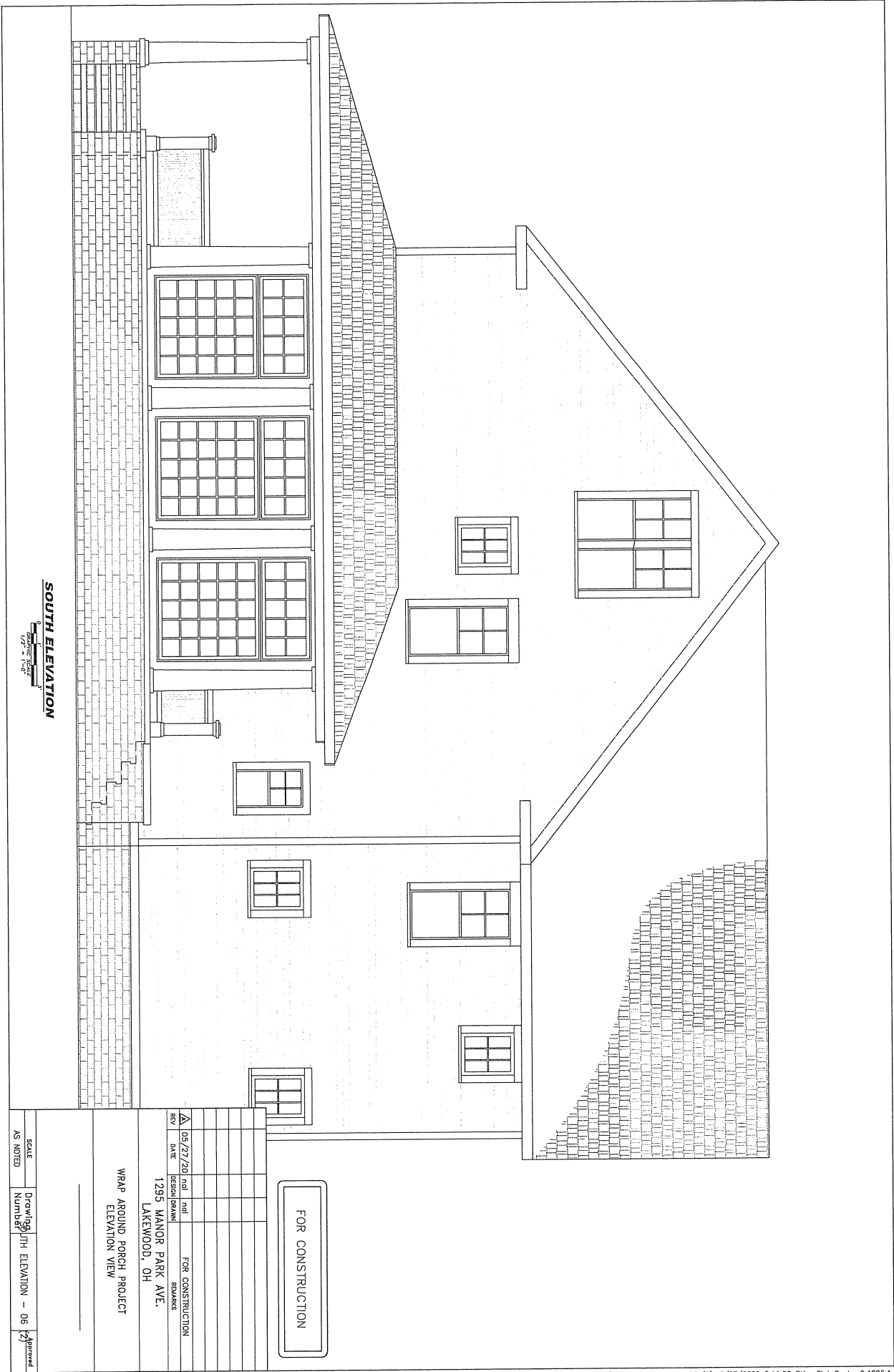
AS NOTED

1295 MANOR PARK AVE.
LAKEWOOD, OH



WRAP AROUND PORCH PROJECT
ELEVATION VIEW

[illegible]

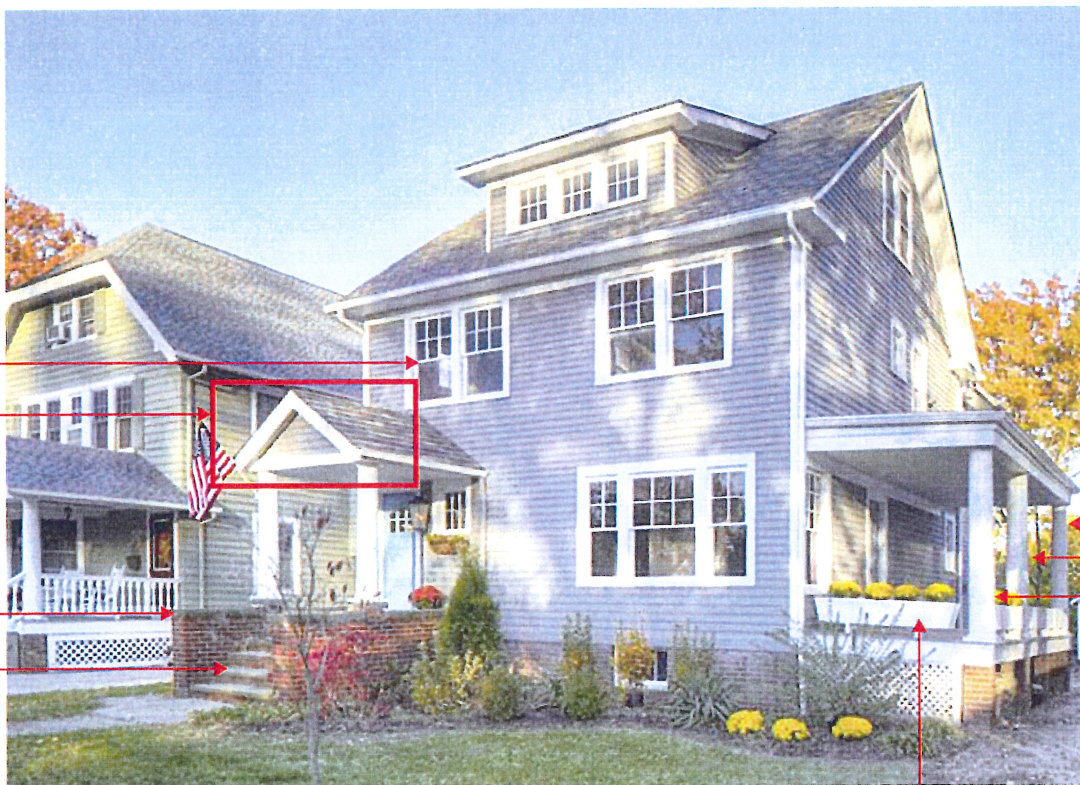


SOUTH ELEVATION

1/2" = 1'-0"

SCALE		Drawing		JTH ELEVATION - 06		Approved 2/
AS NOTED		Number				
FOR CONSTRUCTION						
REV	DATE	DESIGN DRAWN	FOR CONSTRUCTION	REMARKS		
A	05/27/20	nd	nd			
1295 MANOR PARK AVE.						
LAKEWOOD, OH						
WRAP AROUND PORCH PROJECT						
ELEVATION VIEW						

1295 MANOR PARK AVE.
PRE-SIDE PORCH DEMOLITION (2015)



PELLA ARCH.
SERIES
EXISTING
WINDOWS

STOOP ROOF
DETAIL TYP.
ON NEW
FRONT
PORCH OVER
FRONT ENTRY

LIMESTONE CAP STONES AND
STAIR TREADS TO BE RE-USED
ON NEW STAIRS. NEW PORCH
STAIRS WILL MATCH EXISTING
WITH BRICK WING WALLS LEFT
AND RIGHT OF NEW LIMESTONE
TREAD STAIRS.

PLANTER
BOXES USED
ON NEW
FRONT
PORCH
4 EA.

SALVAGED
COLUMNS
REBUILD FOR
FRONT
PORCH, SIDE
4 EA. PORCH
TO VISUALLY
MATCH BUT
WILL BE A
COMPOSITE
VS. TIMBER

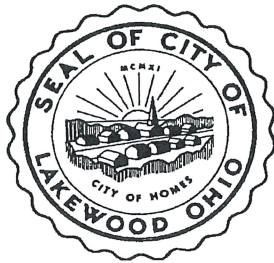
1295 MANOR PARK AVE.
POST SIDE PORCH DEMOLITION

NEW PORCH
ROOF: MATCH
EXISTING
CAMELOT II
PREMIUM
ROOF
SHINGLES

STOOP ROOF
DETAIL TYP.
ON NEW
FRONT
PORCH OVER
FRONT ENTRY
PORCH HIP
ROOF TO TIE
IN ON RIGHT

SALVAGE &
RESET
LIMESTONE IN
FRONT OF RE-
CONSTRUCTED
STOOP TO
MATCH
EXISTING





FILE COPY

BOARD OF ZONING APPEALS

12650 Detroit Avenue • 44107 • (216) 529-6630 • FAX (216) 529-5907
www.onelakewood.com/development

Application Cover Page

Docket No.: 07-13-20

Reference No.: BZA20-000027

Applicant Name: Patti Saracusa, Dover Home Remodelers

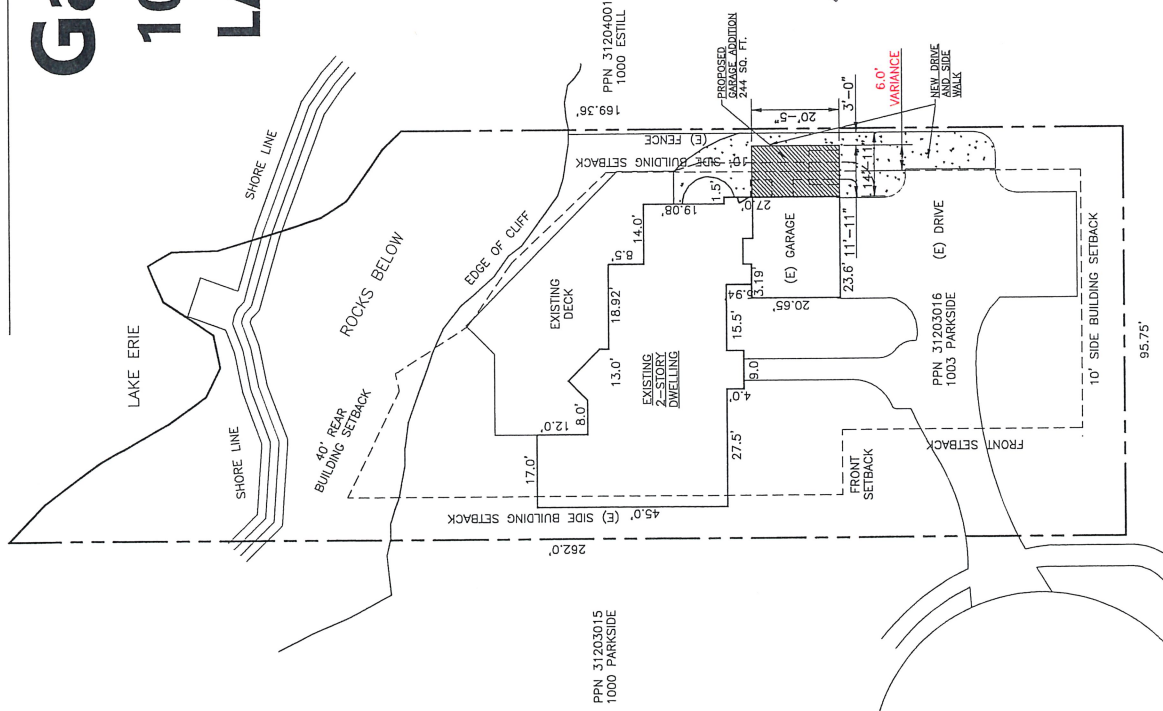
Project Name:

Project Address: 1003 Parkside Drive

Proposal: The expansion of an existing two-car to a three-car garage.

Fee Paid: \$25.00

Garage Addition
1003 PARKSIDE DRIVE
LAKWOOD, OH 44107



SITE PLAN
Scale: 1" = 20'-0"

THESE DRAWINGS AND DESIGNS WILL BE
RELEASED AT AUTHORIZATION OF PROJECT.
ANY USAGE WITHOUT WRITTEN CONSENT WILL
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ARE HEREFY SPECIFICALLY RESERVED.

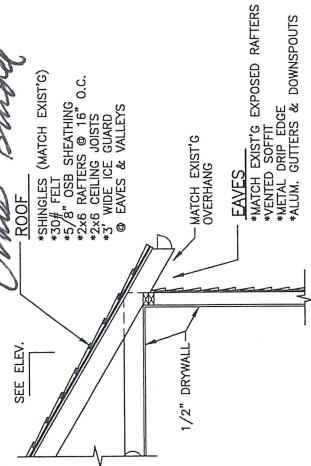
DRAWING INDEX:

- | T-1 | COVER SHEET & SECTIONS |
|-----|----------------------------------|
| A-2 | DEMO & PROPOSED FRONT ELEVATIONS |
| A-3 | DEMO & PROPOSED RIGHT ELEVATIONS |
| A-4 | DEMO & PROPOSED REAR ELEVATIONS |

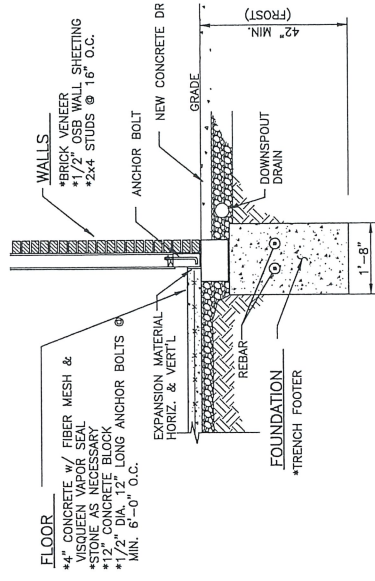
City of Lakewood
Board of Zoning Appeals
Approved as set forth in the minutes

of JUL 16 2020 meeting.

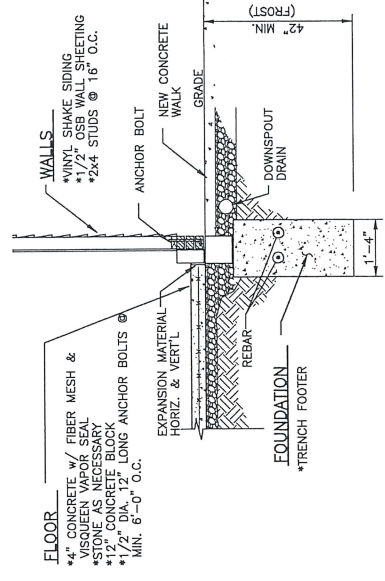
Michelle Roberts for
Chairman Chris Bindel



TYPICAL SECTION - ADDITION FRONT WALL



TYPICAL SECTION – ADDITION OTHER WALLS



NAME: KHADELWAL RESIDENCE	PRELIMINARY APPROVAL DATE	DATE	CUSTOMER SIGNATURE	DATE	CUSTOMER SIGNATURE	DATE	CITY: LAKEWOOD, OH	ZIP CODE: 44107	PHONE:
ADDRESS: 1003 PARKSIDE DR.	CUSTOMER SIGNATURE	DATE	CUSTOMER SIGNATURE	DATE	CUSTOMER SIGNATURE	DATE	CITY: LAKEWOOD, OH	ZIP CODE: 44107	PHONE:
DATE: 06/19/2020	Scale: AS NOTED	Drawn By: BT/JCA	Sales Rep: PS	Drawing: T-1					



Home Remodelers, Inc.

DOVER Floor & Tile Center

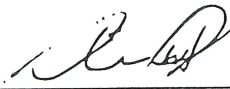
Dover Home Remodelers
29341 Lorain Road
North Olmsted, OH 44070
Office 440.777.7555
Fax 440.777.8188

Dover Floor & Tile Center
26824 Lorain Road
North Olmsted, OH 44070
Office 440.423.TILE (8453)
Fax 440.777.8188

www.doverremodeling.com
www.doverfloorandtile.com

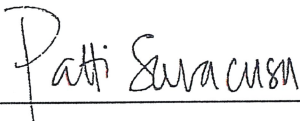
6/19/2020

I authorize members of the City of Lakewood's Building Department and/or Planning Department to access my property for the limited purposes of photographing and verifying the location and dimension of the area affected by my application. I authorize Dover Home Remodelers to submit application on my behalf.

X 

Owner Name: Anjay Khandelwal

Property Address: 1003 Parkside Drive

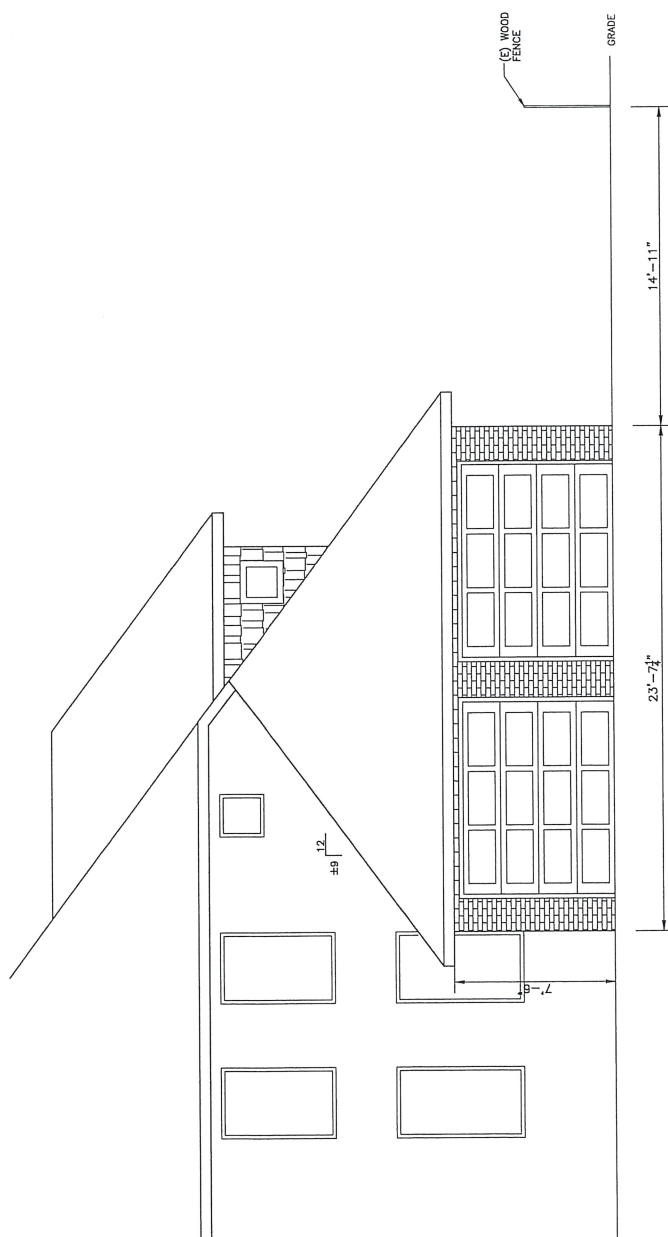
X 

Agent Contact: Patti Saracusa

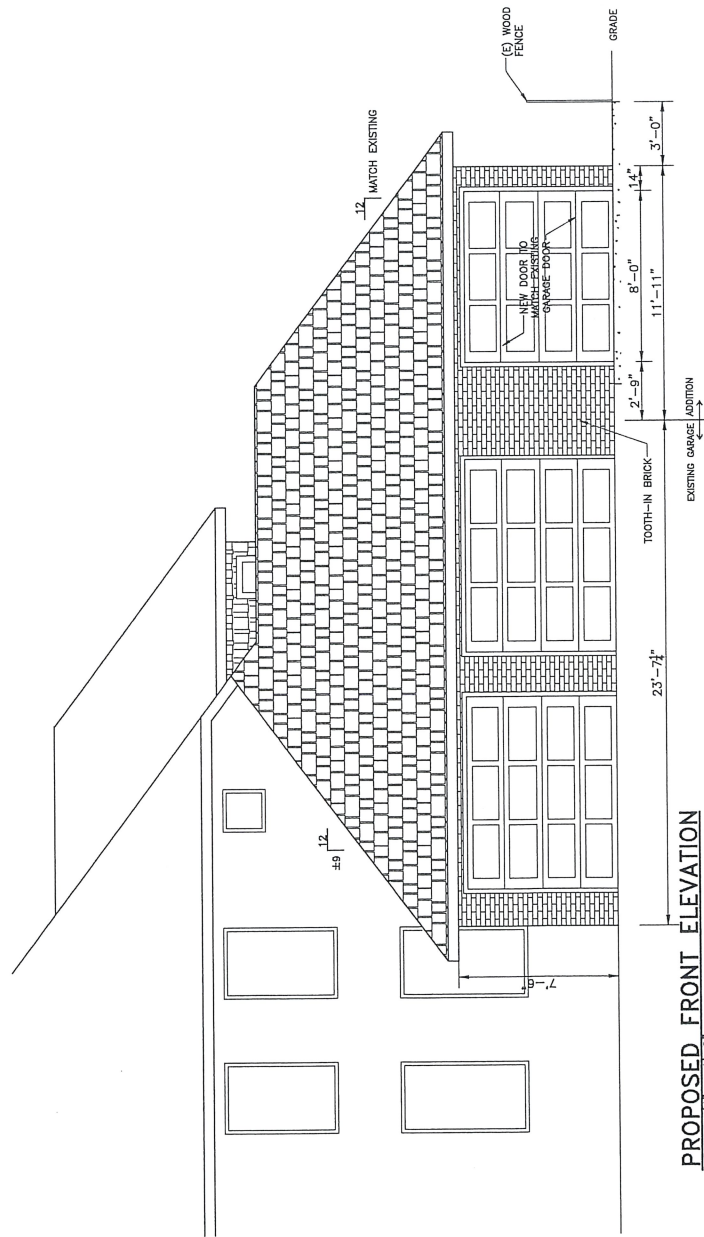
Dover Home Remodelers
26824 Lorain Rd.
North Olmsted, OH.44070



NAME: KHANDELAH RESIDENCE	PRELIMINARY APPROVAL DATE	DATE	CUSTOMER SIGNATURE	DATE	FINAL APPROVAL	CUSTOMER SIGNATURE	DATE	CITY: LAKEWOOD, OH	ZIP CODE: 44107	PHONE:
ADDRESS: 1003 PARKSIDE DR.										
Date: 06/18/2020 Scale: 1/4"=1'-0" Drawn By: CA Sales Rep: PS Drawing: A-2										



DEMO FRONT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"

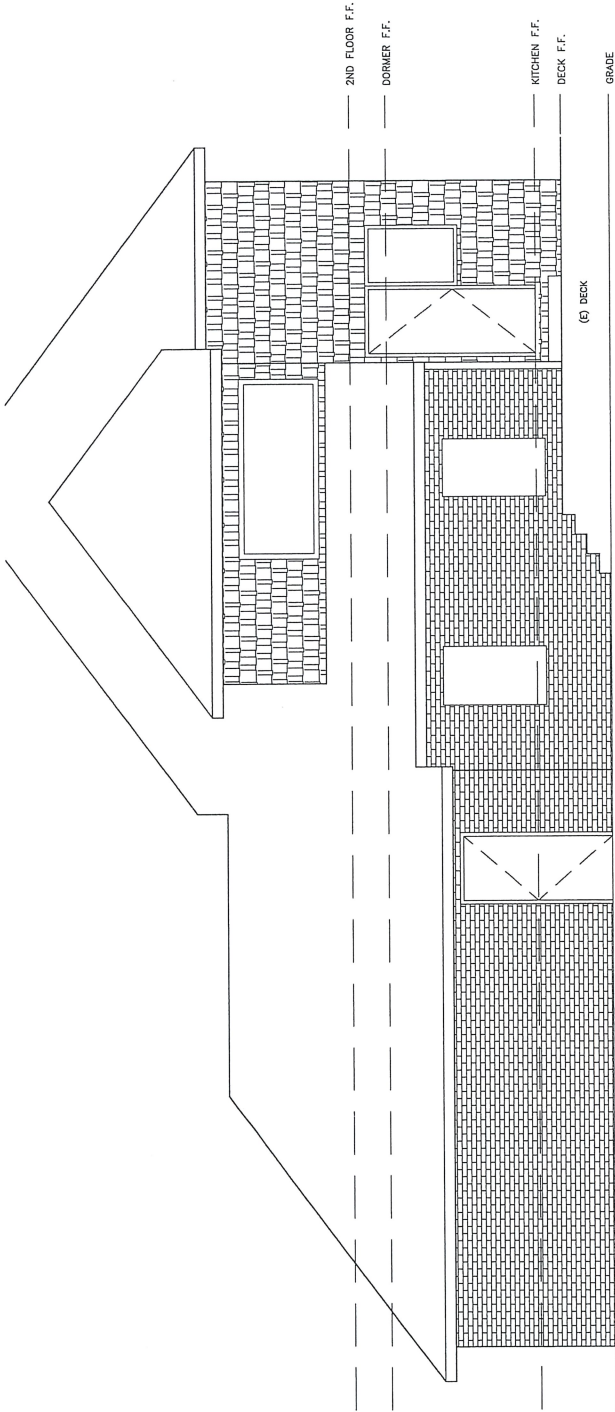
NAME: KHANDELWAL RESIDENCE		ADDRESS: 1003 PARKSIDE DR., LAKEWOOD, OH		CITY: ZIP CODE: 44107 PHONE:		DATE: 06/18/2020	
PRELIMINARY APPROVAL DATE		CUSTOMER SIGNATURE		FINAL APPROVAL		CUSTOMER SIGNATURE	
DATE		DATE		DATE		DATE	
REVISIONS		DATE		DATE		DATE	
08/24/2020		08/24/2020		08/24/2020		08/24/2020	
CITY ARB		CITY ARB		CITY ARB		CITY ARB	
29341 Lorain Road		29341 Lorain Road		29341 Lorain Road		29341 Lorain Road	
North Olmsted, Ohio 44070		North Olmsted, Ohio 44070		North Olmsted, Ohio 44070		North Olmsted, Ohio 44070	
Phone: 440-777-7555		Phone: 440-777-7555		Phone: 440-777-7555		Phone: 440-777-7555	
Fax: 440-777-8188		Fax: 440-777-8188		Fax: 440-777-8188		Fax: 440-777-8188	
www.doverremodeling.com		www.doverremodeling.com		www.doverremodeling.com		www.doverremodeling.com	
Home Remodelers, Inc.		Home Remodelers, Inc.		Home Remodelers, Inc.		Home Remodelers, Inc.	



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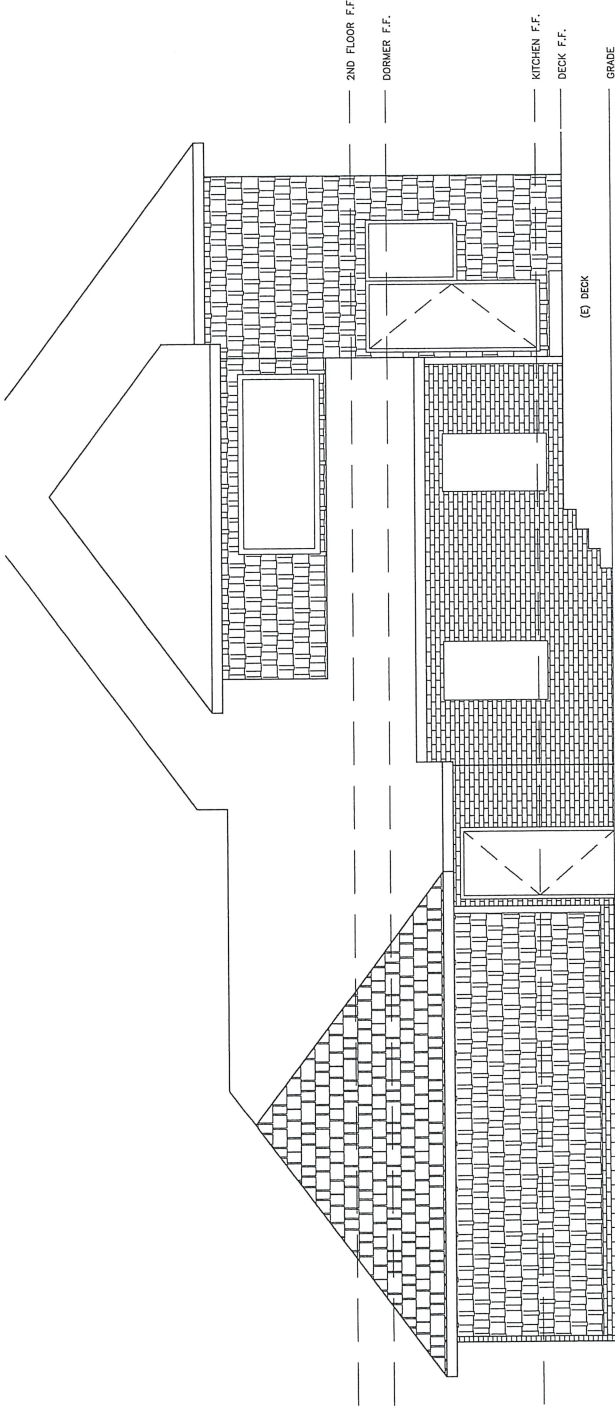
DEMO RIGHT ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

Scale: 1/4" = 1'-0"



Date:	06/18/2020
Scale:	$1/4"=1'-0"$
Drawn By:	CA
Sales Rep:	PS
Drawing:	A-4

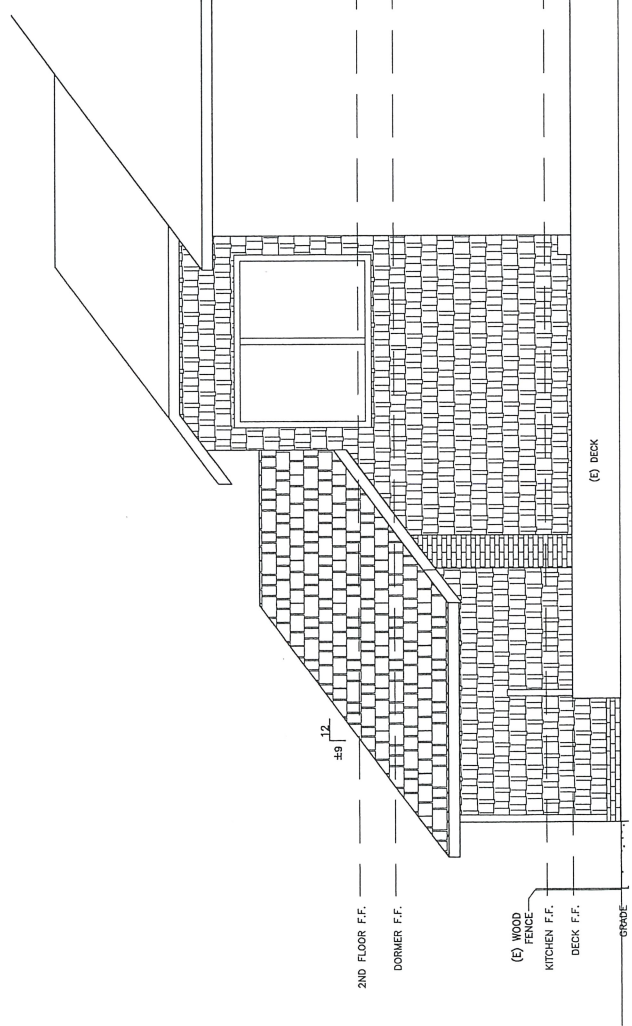
NAME: KHADELWAL RESIDENCE
ADDRESS: 1003 PARKSIDE DR.
CITY: LAKEWOOD, OH
ZIP CODE: 44107 PHONE:

PRELIMINARY APPROVAL DATE _____
CUSTOMER SIGNATURE _____
FINAL APPROVAL _____
DATE _____
CUSTOMER SIGNATURE _____

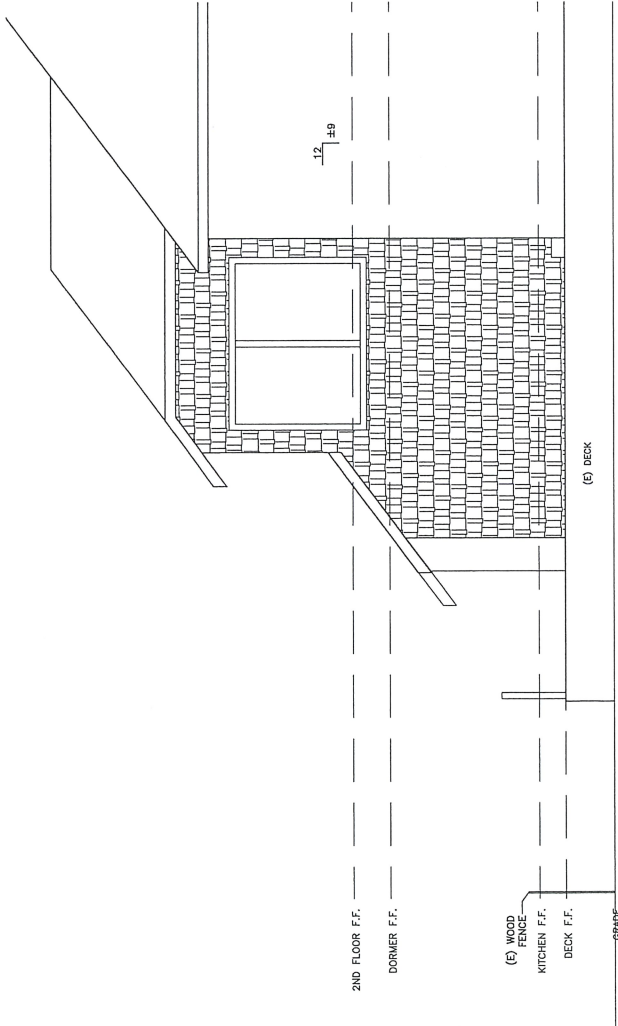
DOVER
SINCE 1984
Home Remodelers, Inc.

29341 Lorain Road
North Olmsted, Ohio 44070
Phone: 440-777-7555
Fax: 440-777-8188
www.dovermodeling.com

PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



DEMO REAR ELEVATION
Scale: 1/4" = 1'-0"



DATE	06/24/2020
REVISIONS	CITY ARB





